

Agenda
GOSHEN PLAN COMMISSION
Tuesday, October 15, 2024, 4:00 pm
Council Chambers, 111 E. Jefferson Street, Goshen, Indiana

****Please turn off all cell phones****

- I. Roll Call
- II. Approval of Minutes from 9/17/24
- III. Filing of Zoning/Subdivision Ordinances and Official Staff Reports into Record
- IV. Postponements/Withdrawals
- V. **PUD Major Change & PUD Preliminary Site Plan** (public hearings)
24-02MA - Cherry Creek, LLC, Waterford Commons Business Park, LLC, City of Goshen, and Abonmarche Consultants request a PUD major change and PUD preliminary site plan approval for changes to Cherry Creek PUD, a mixed use residential/commercial development, zoned Residential R-3PUD. The Cherry Creek PUD is ±235 acres, including adjacent right of way and parcels intended for right of way, generally located west of Dierdorff Road, north of Waterford Mills Parkway, east of Regent Street, and south of Waterford Mills Parkway on both sides of Regent Street. The Cherry Creek PUD major change/PUD preliminary site plan proposes:
 - New mixed use townhome style buildings in place of some mixed use condo style buildings, with shared access across multiple lots;
 - Conditional Uses of pickleball/tennis courts, community centers, child care centers, parks/playgrounds, and swimming pools located on the same lot as a residential use without screening and with no minimum setback for buildings/structures adjacent to residential use/zoning;
 - Non-permanent food vendors (food trucks) allowed in mixed use areas with no Conditional Use permit, only during Cherry Creek approved events, with electrical hookups provided and no generators;
 - Bollard style light fixtures added along walkways, trails and in common spaces;
 - Entrance signs updated and a new interior freestanding sign added;
 - Typical landscaping exhibits added to PUD (no change to standards); and
 - Active transportation network updated.
- VI. **Primary Subdivision** (public hearing)
24-05SUB – Cherry Creek, LLC, Waterford Commons Business Park, LLC, and Abonmarche Consultants request primary subdivision approval for a 522-lot major mixed use (residential & commercial) subdivision, Cherry Creek. The subject property is generally located west of Dierdorff Road, north of Waterford Mills Parkway, east of Regent Street, and south of Waterford Mills Parkway on the west side of Regent Street, containing ±180 acres, zoned Residential R-3PUD.
- VII. Audience Items
- VIII. Staff/Board Items
- IX. Adjournment

Minutes - Goshen Plan Commission
Tuesday, September 17, 2024 - 4:00 pm
Council Chambers, 111 E. Jefferson Street
Goshen, Indiana

- I. The meeting was called to order with the following members present: Richard Worsham, Caleb Morris, Tom Holtzinger, Doug Nisley, James Wellington, Aracelia Manriquez, and Rolando Ortiz. Also present were City Planner Rhonda Yoder and Assistant City Attorney James Kolbus. Absent: Hesston Lauver
- II. Approval of Minutes from 6/18/24 – Holtzinger/Wellington 7-0
- III. Filing of Zoning/Subdivision Ordinances and Official Staff Reports into Record – Holtzinger/Nisley 7-0
- IV. Postponements/Withdrawals - None

V. Primary Subdivision (public hearing)

24-04SUB – Last Dance LLC and Abonmarche Consultants request primary approval of a major industrial subdivision, Replat of Lot 1A of the Replat of East College Avenue Industrial Park, to divide Lot 1A into eight (8) individual lots. The subject property contains ±113.62 acres, and is generally located on the north side of College Avenue, between Brinkley Way East and Brinkley Way West, zoned Industrial M-1.

Staff Report:

Ms. Yoder reminded Commission members that the Plan Commission has exclusive control over primary and secondary subdivision approval. She explained that a subdivision replat follows the applicable major or minor subdivision process, which in this case is a major subdivision, and approval can only be granted if the conditions of the Goshen Subdivision Ordinance are met. Following primary approval, any Zoning Ordinance deficiencies require BZA approval and that approval must be in place prior to secondary approval.

The proposed replat of Lot 1A will divide Lot 1A into 8 individual lots. Each lot must meet the requirements of the M-1 zoning district and she noted the interior side parking setback and the rear parking aisle setback are not met, requiring BZA approval.

She summarized that the entire lot began development as a single zoning lot which means there is currently cross access and zero foot setbacks internally. In order to divide into 8 lots, they must be able to meet the requirements. She commented that shared driveways are located between the lots, requiring cross access easements, including fire access, and the fire access easement also needs to include fire hydrant location. She went on to explain the buildings are so large, that one fire hydrant may not be sufficient if there is a fire, making access between the lots important in case more than one hydrant needs to be utilized. For this reason, there should be no internal fencing within the subdivision, and staff recommends a plat restriction prohibiting internal fencing between the lots.

A storm sewer is another shared easement and there were some new public storm sewer easements created with the recent replat, but this replat also requires private sewer easements. A distinction needs to be made between the private and public storm sewer easements.

A perimeter fencing plan is also included in the staff report and because it crosses lot lines, BZA approval will be required. The plan also shows the fence crossing over the private storm sewer and access easements, so Staff recommends a plat note allowing the perimeter fencing to cross easements. She went on to say that typically the plat prohibits encroachments in easements, but in this case it's a private easement and if this is what the owner wants it should be shown as allowed on the subdivision plat. She noted this would be at the shared entrances only.

Shared parking is proposed on the west side for Lots 9-12, and an easement is required crossing all four lots. The Zoning Ordinance generally requires parking on the same lot as the structure, so the shared parking requires approval from the BZA.

Staff recommends approval of the primary subdivision with the conditions listed in the Staff Report.

Petitioner Presentation:

Crystal Welsh, Abonmarche, 303 River Race Drive, spoke on behalf of the petitioner, noting they are doing the site engineering for the project. As mentioned, the site was initially intended to operate as one large facility, but as they have been up and operating, they've found it makes sense for each building to be on its own lot. There is a lot of work going on to establish legal rights-of-way so people can get to where they need to be via easements as opposed to publicly dedicated roads. A main concern is fire safety and making sure the internal driveways are large enough to accommodate fire trucks. This is all in progress and they have discussed Staff's comments with the property owner, who has no concerns with the recommended conditions.

Mr. Worsham asked if the intention is for these lots to have separate owners.

Ms. Welsh responded it's her understanding this is not their short-term goal, but it will give them the opportunity to do so in the future.

Audience Comments:

None

Close Public Hearing

Staff Discussion:

There was no discussion amongst Staff members.

Action:

A motion was made and seconded, Wellington/Morris, to grant primary approval for 24-04SUB, based upon the Staff Analysis and with the conditions listed in the Staff Report. The motion passed unanimously by a vote of 7-0.

VI. Audience Items
None

VII. Staff/Board Items
None

VIII: Adjournment – 4:11 pm Morris/Holtzinger

Respectfully Submitted:

Lori Lipscomb, Recording Secretary

Approved By:

Richard Worsham, President

Tom Holtzinger, Secretary

To: Goshen City Plan Commission
From: Rhonda L. Yoder, Planning & Zoning Administrator
Subject: 24-05SUB, Primary Approval of a Major Subdivision, Cherry Creek
Date: October 15, 2024

ANALYSIS

Cherry Creek, LLC, Waterford Commons Business Park, LLC, and Abonmarche Consultants request primary subdivision approval for a 522-lot major mixed use (residential & commercial) subdivision, Cherry Creek. The subject property is generally located west of Dierdorff Road, north of Waterford Mills Parkway, east of Regent Street, and south of Waterford Mills Parkway on the west side of Regent Street, containing ±180 acres, zoned Residential R-3PUD.

According to the Goshen Subdivision Ordinance (SO), a major subdivision involves two or more lots along with the establishment of a new street or easement of access, and substantial changes to existing drainage systems. Major subdivision approval occurs in two phases, primary subdivision and secondary subdivision. The primary subdivision is intended to show a total development plan, including physical features, proposed lot layout, proposed street patterns, land to be reserved for public use, sewer and water extensions, and drainage facilities. The Plan Commission determines if the proposed development plan is suitable for the proposed site.

The Plan Commission has exclusive control over primary and secondary subdivision approvals. Subdivision applications may be granted approval, granted approval with conditions, or disapproved (SO Section 530). Approval may be granted only if the conditions of the Goshen Subdivision Ordinance are met. The Plan Commission may waive only those conditions found exclusively in the Goshen Subdivision Ordinance, and may not waive any standards found in the Goshen Zoning Ordinance.

The current Cherry Creek primary subdivision will replace the original primary subdivision approved by the Plan Commission on January 16, 2024, and includes Sheets 1-15 with layout details and the preliminary drainage plan (copies provided) and Sheets 16-28 with drainage, utility and grading details (copies not provided). A phasing plan is included, along with a land use layout and active transportation exhibit to provide additional detail.

The existing Cherry Creek PUD includes the following standards that impact subdivision review, and these standards will likely remain unchanged except for an update to the active transportation network exhibit, pending as part of the PUD major change/PUD preliminary site plan application:

- a. Maximum residential unit density calculated using the overall Cherry Creek area, including common areas but excluding public right of way.
- b. Sidewalks and trails installed generally per Exhibit B of Ordinance 5173, Active Transportation Network (update pending).
- c. Lot size, lot width, building height, building coverage and setbacks are not subject to specific standards, but provided lot size, lot width, setbacks and building coverage must ensure adequate space to meet all developmental requirements, such as landscaping and parking, and to maintain access for all services (fire protection, utilities, mail delivery, trash collection, for example).

All streets with right of way at or exceeding 60' require a local street label, for example, Cherry Creek Lane 70' R/W (local), and this is included in the primary subdivision and is required for each secondary subdivision.

Evaluation of the Primary Subdivision Plan

After reviewing the primary subdivision plan for Cherry Creek and the Goshen SO and Cherry Creek PUD standards, the following comments/questions must be addressed:

1. Include match lines as needed for each secondary subdivision (some are shown; some may be missing).

2. For each secondary subdivision, lot numbers must be consecutive within that section and into the next phase/section. If Phase 1/Zone 1 is intended as a separate first subdivision section, Lot 94 should follow the last lot number in Phase 1/Zone 1, with the correct lot number likely Lot 76.
3. Common Spaces
 - Explain why Common Space A, labeled as drainage, maintenance and access easement, is a common space rather than an easement?
 - Common Space C – Entire area must be part of first subdivision section if Phase 1/Zone 1 and Phase 1/Zone 2 are separate subdivision sections.
4. Remove building setback lines from plat (in Legend and on drawing) for each secondary subdivision.
5. Remove parking setback lines from plat (in Legend and on drawing) for each secondary subdivision.
6. Street Names
 - Mockingbird Drive – Runs in two directions. Per SO, street names change with a major directional change.
7. General Edits (update on all applicable sheets):
 - Legend: B1, Blanket easement has typo for the word drainage.
 - Legend: B1, Blanket easement should include Lot 101 (as proposed), but lot numbers may change if Lot 94 is updated to Lot 76.
 - Legend: B2, Delete “identified on the PUD land use and conditional use map” as the easement cannot be tied to a non-recorded document that is subject to change.
8. For each secondary subdivision, boundary and lot line dimensions must have exact dimensions in feet and hundredths thereof.
9. Non-access easements 5’ in width are required along each abutting arterial street, Waterford Mills Parkway and Dierdorff Road, and are also required along interior streets where access will be prohibited, including portions of Fairways Drive, including on either side of the linear park. The non-access easements should continue through Common Spaces that abut Waterford Mills Parkway and Dierdorff Road. The only exception to the non-access easements will be temporary construction entrances, permitted only when authorized by Goshen Engineering through approval of a right of way permit prior to installation
10. Easements and agreements required prior to secondary subdivision approval include:
 - Temporary construction easements
 - Off-site easement across City property (Waterford Mills Parkway, for example) for drainage pipes
 - Off-site drainage retention easements, with instrument numbers included on the secondary subdivision
 - Off-site drainage agreements, executed before secondary subdivision approval is granted
 - Trail access easements (on plat) for portions of trail on Cherry Creek property
11. Dierdorff Road right of way dedication of City parcels is required before the first secondary subdivision is submitted for Phase 2.
12. Final roadway design as recommended by the *Cherry Creek Development Traffic Impact Study*, dated March 2023, is required as part of secondary subdivision submittal.
13. The mail delivery system must be confirmed in writing by the Goshen Post Office as part of secondary subdivision submittal.

Conditions to be met prior to secondary approval, and requirements to be completed before construction begins and before a zoning clearance/building permit is issued, are outlined in the following section.

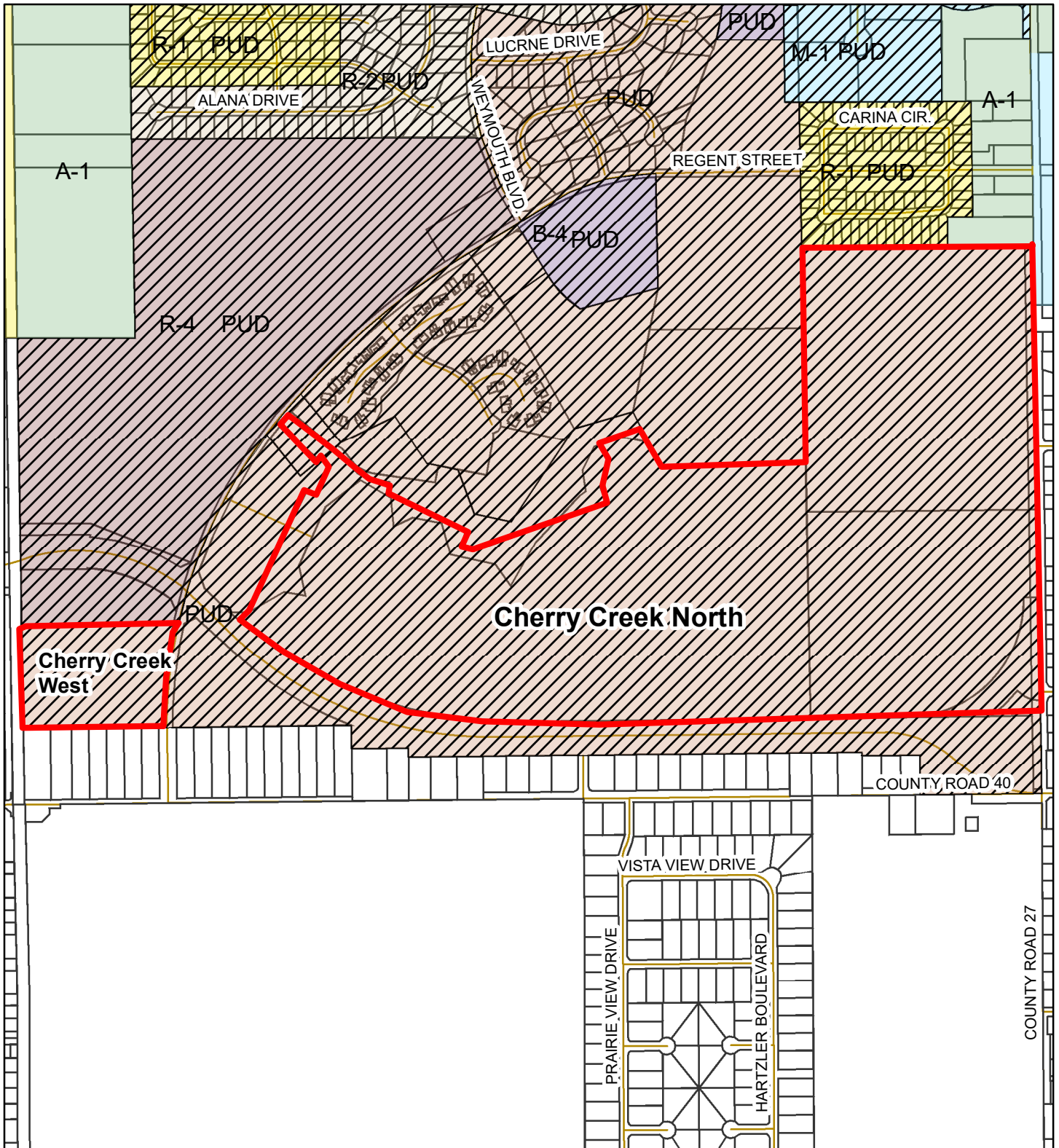
RECOMMENDATIONS

Staff recommends the Plan Commission grant primary approval with conditions for Cherry Creek subdivision, based upon the following and including the following conditions:

1. Zoning and Subdivision Ordinance requirements are met, except as noted.
2. Approval is contingent on conformance with the final Cherry Creek PUD, with a PUD major change/PUD preliminary site plan pending review by Plan Commission and Goshen Common Council.
3. The secondary subdivision shall address the identified technical corrections and Technical Review comments provided by Engineering, Stormwater, and Fire, including:
 - Include east-west match lines as needed for each secondary subdivision.

- For each secondary subdivision, lot numbers must be consecutive within that section and into the next phase/section.
 - The entire area of Common Space C must be part of first subdivision section if Phase 1/Zone 1 and Phase 1/Zone 2 are separate subdivision sections.
 - Remove building setback lines from plat (in Legend and on drawing) for each secondary subdivision.
 - Remove parking setback lines from plat (in Legend and on drawing) for each secondary subdivision.
 - Street name updates:
 - Mockingbird Drive – Runs in two directions. Per SO, street names change with a major directional change.
 - Make the following general edits:
 - Legend: B1, Correct typo for the word drainage.
 - Legend: B1, Include Lot 101 (as proposed), or change lot numbers if Lot 94 is updated to Lot 76.
 - Legend: B2, Delete “identified on the PUD land use and conditional use map.”
 - All lots and common spaces proposed for development within a subdivision section must be part of the secondary subdivision for that section.
 - All streets with right of way at or exceeding 60’ require a local street label as part of each secondary subdivision.
 - For each secondary subdivision, boundary and lot line dimensions must have exact dimensions in feet and hundredths thereof.
 - Non-access easements 5’ in width are required along each abutting arterial street, Waterford Mills Parkway and Dierdorff Road, and along interior streets where access will be prohibited, including portions of Fairways Drive.
 - Easements and agreements required prior to secondary subdivision approval include:
 - Temporary construction easements
 - Easement across City property (Waterford Mills Parkway, for example) for drainage pipes
 - Off-site drainage easements, with instrument numbers included on the secondary subdivision plat
 - Off-site drainage agreements, executed before secondary subdivision approval is granted
 - Trail access easements (on plat) for portions of trail on Cherry Creek property
 - Dierdorff Road right of way dedication of City parcels is required before the first secondary subdivision is submitted for Phase 2.
 - Final roadway design as recommended by the *Cherry Creek Development Traffic Impact Study*, dated March 2023, is required as part of secondary subdivision submittal.
 - The mail delivery system must be confirmed in writing by the Goshen Post Office as part of secondary subdivision submittal.
4. The drawings, application and fee for the secondary subdivision shall be submitted to the Planning office, and Staff may review on behalf of the Plan Commission.
 5. Per SO Sections 511.6 and 571.10, the final plat shall include all easements dimensioned and identified to their specific use, including all existing easements and all required new easements.
 6. Per SO Sections 512 and 812, an overall subdivision drainage plan shall be prepared and certified by a registered engineer or registered land surveyor, submitted to the City Engineer, and approved by the Board of Works before secondary approval is granted.
 7. All infrastructure improvements shall be designed and built according to the latest City standards, per SO Section 800.
 8. Connection to City water and sewer is required, and utility extension plans shall be approved by the City Utility Engineer.
 9. Per SO Section 812, construction drawings shall be submitted to the City Engineer showing all streets, all underground utilities, and all other required improvements, including fire hydrants and street and traffic control signs.
 10. The final street plan shall be reviewed and approved by the Goshen Fire Department to ensure that access is provided for fire trucks as each phase is constructed, including any required temporary turn-arounds.
 11. If the plat is to be finalized and recorded before infrastructure improvements are constructed and accepted for maintenance, a performance bond/surety shall be filed with and approved by the City Engineer and the Board of Public Works and Safety before construction begins and before secondary approval is granted.

12. After all identified corrections are made, reviewed and approved, dedications and easements shall be accepted by the Board of Works per SO Section 820 before secondary approval is granted.
13. When secondary approval is granted, the signed plat will be provided to the applicant for recording, with two full size recorded copies provided to the City or a clear, full-size PDF submitted via email.
14. The secondary subdivision shall be reviewed and approved and a recorded plat on file before a zoning clearance/building permit is issued for any individual lot.
15. Following secondary approval, a PUD final site plan, including landscaping, is required for each condo/commercial lot, to be reviewed by Staff on behalf of the Plan Commission, with concurrent review through Technical Review.



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1 inch = 800 feet

Cherry Creek Primary Subdivision

Zoning Map: R-3PUD
 Printed September 30, 2024

The City of Goshen
 Department of
 Planning & Zoning
 204 East Jefferson Street, Goshen, Indiana 46528
 Phone: 574-534-3600 Fax: 574-533-8626

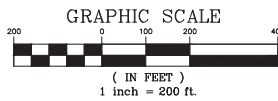
CHERRY CREEK PRIMARY SUBDIVISION

PART OF THE WEST 1/2 OF SECTION 26 & A PART OF THE SOUTH 1/2 OF SECTION 27, BOTH IN TOWNSHIP 36 NORTH, RANGE 6 EAST, CITY OF GOSHEN, ELKHART TOWNSHIP, ELKHART COUNTY, INDIANA
 TAX ID#S: 20-11-27-426-036.000-015; 20-11-26-351-022.000-015; 20-11-26-301-014.000-015 & 20-11-27-377-001.000-015
 (SEE PAGE 2 OF 29 FOR LEGAL DESCRIPTION & GENERAL NOTES)

SHEET INDEX

SHEETS 1-14 PRIMARY SUBDIVISION
 SHEETS 15-16 PRELIMINARY DRAINAGE PLAN
 SHEETS 17-20 PRELIMINARY STRUCTURE DATA TABLE
 SHEETS 21-28 PRELIMINARY UTILITY AND GRADING PLAN

Curve #	Length	Radius	Delta	Chord Bearing	Chord
C1	1807.70'	2425.00'	42°42'39"	S89°01'20"E	1766.14'
C2	90.07'	2759.89'	01°52'11"	N40°05'08"E	90.06'
C3	67.05'	395.00'	9°43'32"	S44°13'46"E	66.97'
C4	154.35'	210.00'	42°06'45"	S80°25'23"E	150.90'



Line #	Bearing	Length
L1	S89°47'39"W	90.92'
L2	S63°15'12"E	50.00'
L3	N26°44'48"E	187.64'
L4	N49°05'32"W	70.77'
L5	S40°54'28"W	20.00'
L6	N41°01'13"E	19.95'
L7	S40°54'28"W	10.00'
L8	S49°05'32"E	103.84'
L9	S81°28'45"E	90.76'
L10	S07°32'46"W	56.04'
L11	S12°49'47"W	84.58'
L12	S63°15'12"E	76.55'
L13	N20°31'35"W	86.62'
L14	N20°15'33"W	105.60'

WETLAND NOTE
 THE OWNER/DEVELOPER OBTAINED A JURISDICTIONAL DETERMINATION (JD) FROM THE U.S. ARMY CORPS OF ENGINEERS ON JANUARY 31, 2024 STATING THAT THE AREA IN QUESTION HAS BEEN DETERMINED NOT TO CONTAIN ANY WETLANDS WITHIN IT, NOR DOES IT MEET WETLAND CRITERIA.

DRAINAGE EASEMENT AGREEMENT BETWEEN THE CITY OF GOSHEN AND YES WINCHESTER TRAILS, LLC INSTR. #2024-13795

WETLAND AREA AS SHOWN ON THE U.S. FISH & WILDLIFE SERVICE NATIONAL WETLANDS INVENTORY MAP & SHOWN ON EARTH SOURCE, INC. WETLAND DELINEATION REPORT AS DETENTION BASIN #2 AND IS 0.22 ACRE (SEE WETLAND NOTE)

DRAINAGE EASEMENT AGREEMENT BETWEEN THE CITY OF GOSHEN AND CHERRY CREEK, LLC INSTR. #2024-09850

WETLAND AREA NOT SHOWN ON THE U.S. FISH & WILDLIFE SERVICE NATIONAL WETLANDS INVENTORY MAP BUT DELINEATED BY EARTH SOURCE, INC. IN A WETLAND DELINEATION REPORT AS DETENTION BASIN #1 AND IS 0.55 ACRE (SEE WETLAND NOTE)

WATERFORD MILLS PARKWAY

CITY OF GOSHEN, INDIANA INSTR. #2008-19890

A PORTION OF TRACT 5 IN MY TE ME, INC. - INSTR. #57 024244 AMENDMENT OF THE ARTICLES OF INCORPORATION OF MY TE ME, INC. - INSTR. #93 026911 OWNERS NOW: WATERFORD DEVELOPMENT CORP.

TRACT 3 ±11.28 ACRES

CITY OF GOSHEN, INDIANA INSTR. #2008-00782 TRACT 2

CITY OF GOSHEN, INDIANA INSTR. #2008-30067

DRAINAGE EASEMENT AGREEMENT BETWEEN THE CITY OF GOSHEN AND CHERRY CREEK, LLC INSTR. #2024-11681

LORI B. & MICHAEL R. LONG

GLEN D. YODER

JERRY E. LANE

RUBEN SANTOS

CANTERA & CREW

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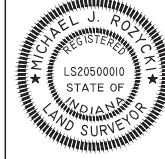
HARRISON MON.

HARRISON MON.

CHERRY CREEK PRIMARY SUBDIVISION

WATERFORD MILLS PARKWAY
 REGENT STREET / DIERDORFF ROAD
 GOSHEN, IN 46526

SHEET TITLE:
 DRAWN BY:
 DESIGNED BY:
 PM REVIEW:
 QA/QC REVIEW:
 DATE:
 SEAL:



SIGNATURE:
 DATE:

SCALE:
 1" = 200'

ACT JOB #
 22-1784

SHEET NO.
 1 of 28

ABONMARCHE
 303 River Race Drive, Unit 206
 Goshen, IN 46526
 Phone: (317) 533-9311
 Fax: (317) 533-9312
 abonmarcche.com

Valeriano Hobart
 Adam Hoover
 Fort Wayne
 Grand Rapids
 Lafayette

Engineering - Architecture - Land Surveying

PROJECT:
 CHERRY CREEK
 PRIMARY SUBDIVISION

WATERFORD MILLS PARKWAY
 REGENT STREET / DIERDORFF ROAD
 GOSHEN, IN 46526

PRIMARY SUBDIVISION

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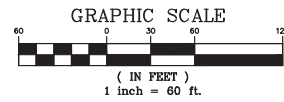
SHEET NO.
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CHERRY CREEK PRIMARY SUBDIVISION

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 (SEE PAGE 2 OF 29 FOR LEGAL DESCRIPTION & GENERAL NOTES)

LEGEND

- (S) MINIMUM BUILDING SETBACK (AS NOTED)
- (F) FISH & WILDLIFE SERVICE NATIONAL WETLANDS INVENTORY MAP & SHOWN ON EARTH SOURCE, INC. WETLAND DELINEATION REPORT AS DETENTION BASIN #2 AND IS 0.22 ACRE (SEE WETLAND NOTE)
- (D) DRAINAGE, MAINTENANCE & ACCESS EASEMENT
- (R) RETENTION AREA/Common Area
- (E) SIDEWALK EASEMENT
- (L) DRAINAGE, LANDSCAPE & ACCESS EASEMENT
- (SS) SANITARY SEWER EASEMENT
- (U) UTILITY & ACCESS EASEMENT
- (DRA) DRAINAGE, ACCESS, UTILITY & MAINTENANCE EASEMENT
- (P) 5' PARKING SETBACK
- (PS) PARKING SPACE COURT

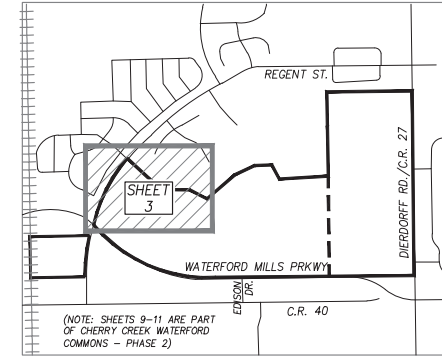


WETLAND NOTE
 The Owner/Developer obtained a Jurisdictional Determination (JD) from the U.S. Army Corps of Engineers on January 31, 2024 stating that the area in question has been determined not to contain any wetlands within it, nor does it meet wetland criteria.

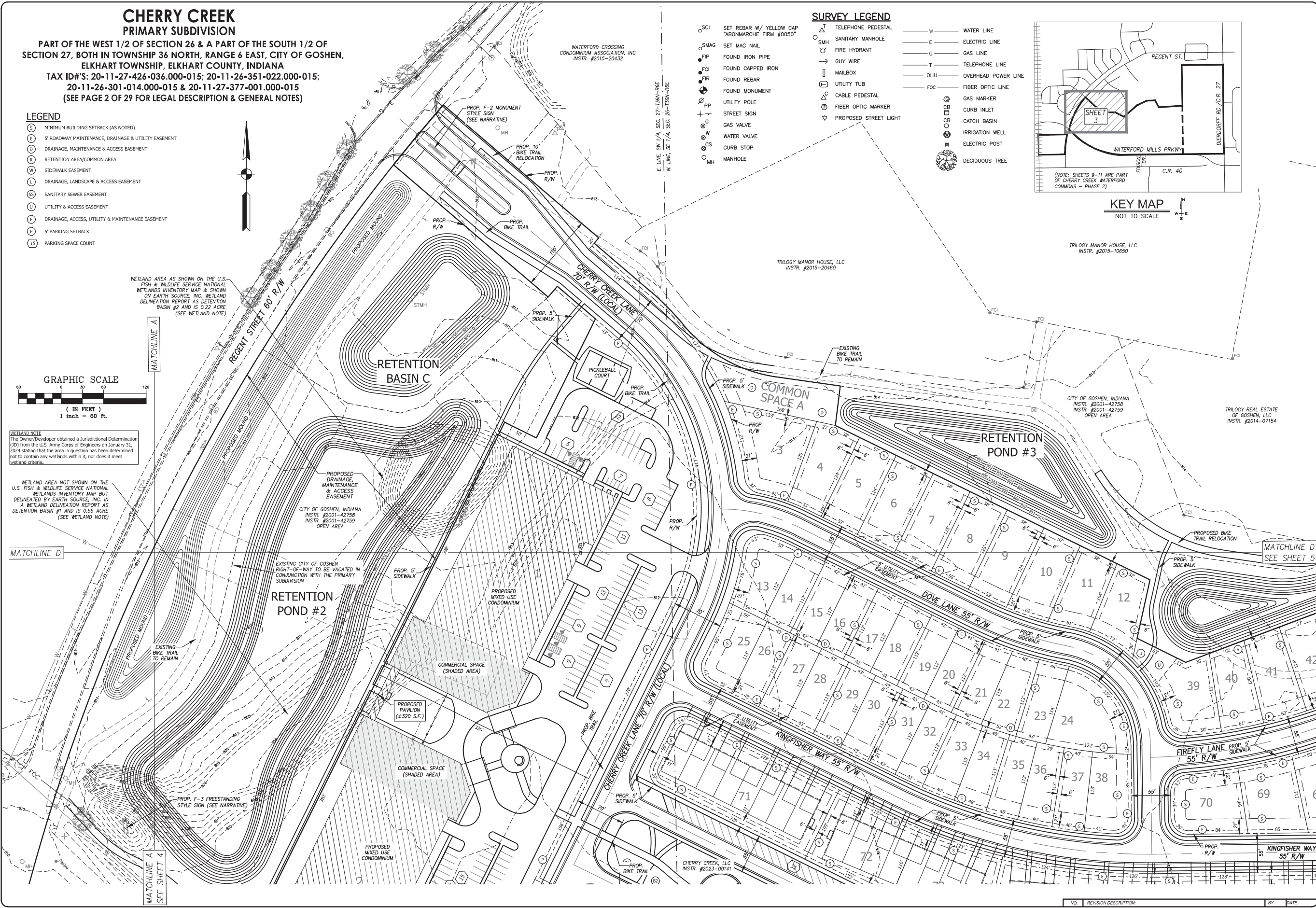
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SURVEY LEGEND

- SCI SET REBAR W/ YELLOW CAP "ABONMARCHE FIRM #0050"
- SMAG SET MAG NAIL
- FIP FOUND IRON PIPE
- FCI FOUND CAPPED IRON
- FIR FOUND REBAR
- FM FOUND MONUMENT
- UP UTILITY POLE
- S STREET SIGN
- G GAS VALVE
- W WATER VALVE
- CS CURB STOP
- MH MANHOLE
- △ TELEPHONE PEDESTAL
- SMH SANITARY MANHOLE
- FIRE HYDRANT
- GUY WIRE
- MAILBOX
- UTILITY TUB
- CABLE PEDESTAL
- FIBER OPTIC MARKER
- ☆ PROPOSED STREET LIGHT
- W WATER LINE
- E ELECTRIC LINE
- G GAS LINE
- T TELEPHONE LINE
- OHU OVERHEAD POWER LINE
- FOC FIBER OPTIC LINE
- GAS MARKER
- CURB INLET
- CATCH BASIN
- IRRIGATION WELL
- ELECTRIC POST
- DECIDUOUS TREE



KEY MAP
NOT TO SCALE



ABONMARCHE
 Valparaiso
 Hobart
 South Bend
 Fort Wayne
 Grand Rapids
 303 River Race Drive, Unit 206
 Goshen, IN 46526
 Phone: 765.233.3333
 Fax: 765.233.3331
 abonmarcche.com

**CHERRY CREEK
PRIMARY SUBDIVISION**
 WATERFORD MILLS PARKWAY
 REGENT STREET / DIERDORFF ROAD
 GOSHEN, IN 46526

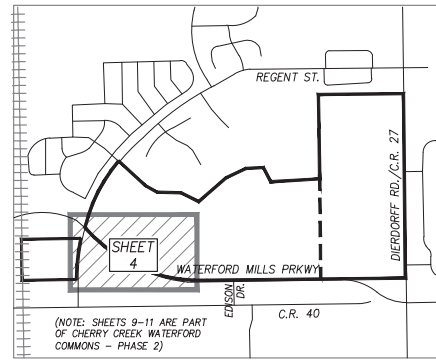
PRIMARY SUBDIVISION

SHEET TITLE:
 DRAWN BY: TRM/KG
 DESIGNED BY: KG
 PM REVIEW: BEM
 QA/QC REVIEW: BEM/AJM
 DATE: 09-18-24
 SEAL: MICHAEL J. ROZICKI, REGISTERED PROFESSIONAL LAND SURVEYOR, STATE OF INDIANA, LICENSE NO. LS20500010
 SIGNATURE: [Signature]
 DATE:
 SCALE: 1" = 60'
 ACI JOB #: 22-1784
3 of 28

NO.	REVISION DESCRIPTION	BY	DATE

CHERRY CREEK PRIMARY SUBDIVISION

PART OF THE WEST 1/2 OF SECTION 26 & A PART OF THE SOUTH 1/2 OF SECTION 27, BOTH IN TOWNSHIP 36 NORTH, RANGE 6 EAST, CITY OF GOSHEN, ELKHART TOWNSHIP, ELKHART COUNTY, INDIANA
 TAX ID#S: 20-11-27-426-036.000-015; 20-11-26-351-022.000-015; 20-11-26-301-014.000-015 & 20-11-27-377-001.000-015
 (SEE PAGE 2 OF 29 FOR LEGAL DESCRIPTION & GENERAL NOTES)



KEY MAP
NOT TO SCALE

- SCI SET REBAR W/ YELLOW CAP "ABONMACHE FIRM #0050"
- SMAG SET MAG NAIL
- FIP FOUND IRON PIPE
- FCI FOUND CAPPED IRON
- FIR FOUND REBAR
- FM FOUND MONUMENT
- PP UTILITY POLE
- ⊕ STREET SIGN
- ⊕ G GAS VALVE
- ⊕ W WATER VALVE
- ⊕ CS CURB STOP
- MH MANHOLE

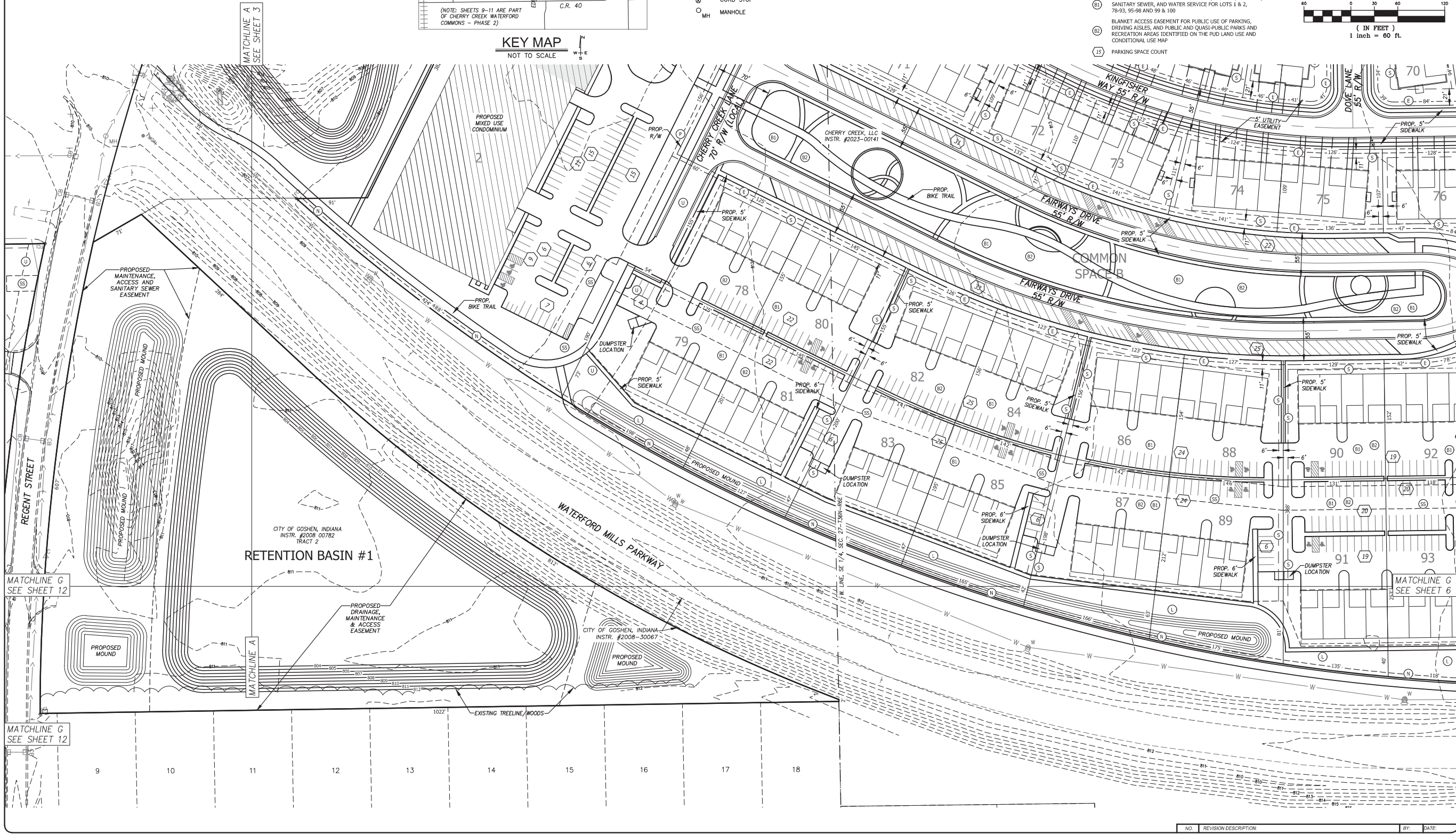
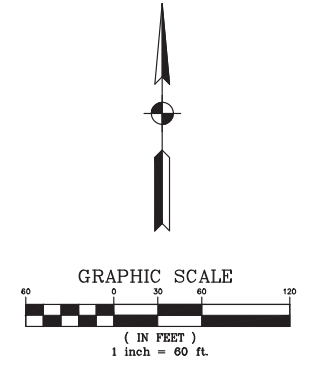
SURVEY LEGEND

- △ TELEPHONE PEDESTAL
- SMH SANITARY MANHOLE
- FH FIRE HYDRANT
- GUY WIRE
- MAILBOX
- UTILITY TUB
- △ CABLE PEDESTAL
- FOM FIBER OPTIC MARKER
- ☆ PROPOSED STREET LIGHT

- W — WATER LINE
- E — ELECTRIC LINE
- G — GAS LINE
- T — TELEPHONE LINE
- OHU — OVERHEAD POWER LINE
- FOC — FIBER OPTIC LINE
- ⊕ G GAS MARKER
- ⊕ W WATER VALVE
- ⊕ CB CATCH BASIN
- ⊕ IRRIGATION WELL
- ⊕ E ELECTRIC POST

LEGEND

- MINIMUM BUILDING SETBACK (AS NOTED)
- 5' ROADWAY MAINTENANCE, DRAINAGE & UTILITY EASEMENT
- DRAINAGE, MAINTENANCE & ACCESS EASEMENT
- RETENTION AREA/Common Area
- SIDEWALK EASEMENT
- DRAINAGE, LANDSCAPE & ACCESS EASEMENT
- SANITARY SEWER EASEMENT
- UTILITY & ACCESS EASEMENT
- DRAINAGE, ACCESS, UTILITY & MAINTENANCE EASEMENT
- 5' PARKING SETBACK
- 5' NON-ACCESS EASEMENT
- BLANKET EASEMENT FOR SHARED ACCESS, PARKING, DRAINAGE, SANITARY SEWER, AND WATER SERVICE FOR LOTS 1 & 2, 76-93, 95-98 AND 99 & 100
- BLANKET ACCESS EASEMENT FOR PUBLIC USE OF PARKING, DRIVING AISLES, AND PUBLIC AND QUASI-PUBLIC PARKS AND RECREATION AREAS IDENTIFIED ON THE PUD LAND USE AND CONDITIONAL USE MAP
- 15 PARKING SPACE COUNT



ABONMACHE
 Valparaiso, IN 46385
 303 River Race Drive, Unit 206
 Goshen, IN 46526
 Phone: 765.233.1113
 Fax: 765.233.9911
 abonmache.com

**CHERRY CREEK
PRIMARY SUBDIVISION**
 WATERFORD MILLS PARKWAY
 REGENT STREET / DIERDORFF ROAD
 GOSHEN, IN 46526

PRIMARY SUBDIVISION

DRAWN BY: TRM/KG
 DESIGNED BY: KG
 PM REVIEW: BEM
 QA/QC REVIEW: BEM/AJM
 DATE: 09-18-24



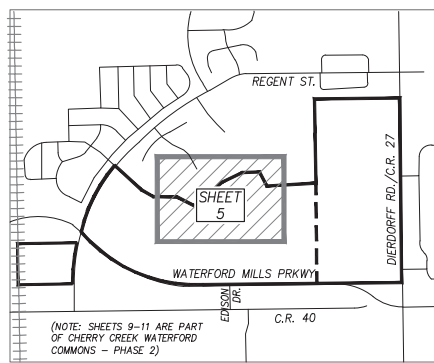
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 DATE:

SCALE: 1" = 60'

ACI JOB #: 22-1784

SHEET NO: 4 of 28

NO.	REVISION DESCRIPTION	BY	DATE



KEY MAP
NOT TO SCALE

**CHERRY CREEK
PRIMARY SUBDIVISION**
PART OF THE WEST 1/2 OF SECTION 26 & A PART OF THE SOUTH 1/2 OF SECTION 27, BOTH IN TOWNSHIP 36 NORTH, RANGE 6 EAST, CITY OF GOSHEN, ELKHART TOWNSHIP, ELKHART COUNTY, INDIANA
TAX ID#S: 20-11-27-426-036.000-015; 20-11-26-351-022.000-015; 20-11-26-301-014.000-015 & 20-11-27-377-001.000-015
(SEE PAGE 2 OF 29 FOR LEGAL DESCRIPTION & GENERAL NOTES)

WATERFORD CROSSING CONDOMINIUM ASSOCIATION, INC.
INSTR. #2015-20432

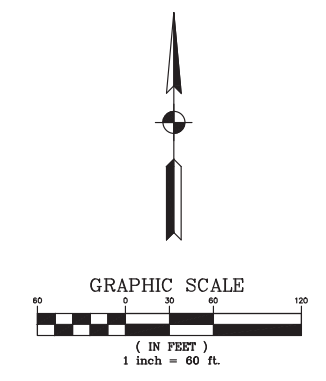
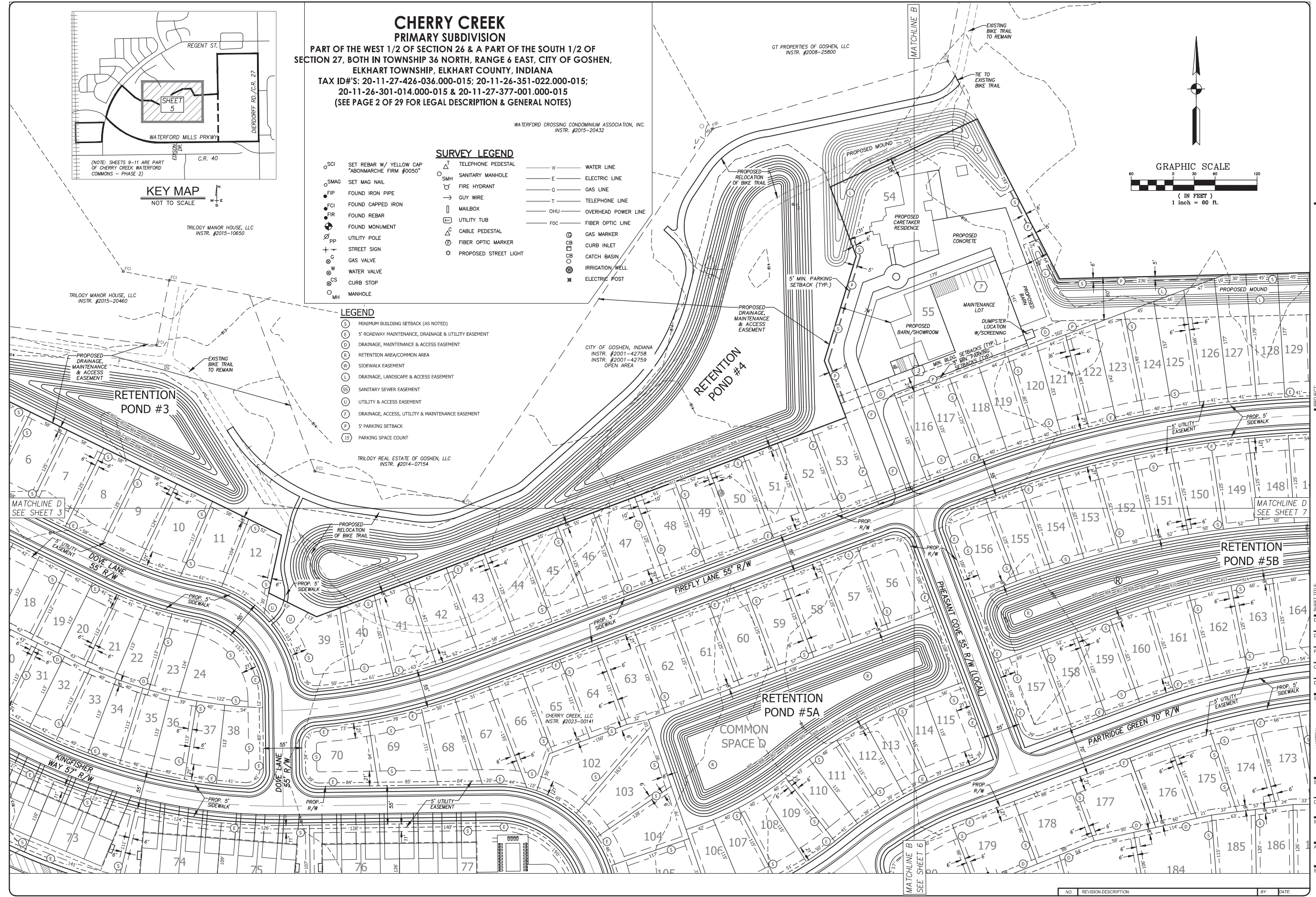
SURVEY LEGEND

○ SCI	SET REBAR W/ YELLOW CAP "ABONMARCHÉ FIRM #0050"	△ TELEPHONE PEDESTAL	— W	WATER LINE
○ SMAG	SET MAG NAIL	○ SMH	— E	ELECTRIC LINE
● FIP	FOUND IRON PIPE	—	— G	GAS LINE
○ FCI	FOUND CAPPED IRON	—	— T	TELEPHONE LINE
● FIR	FOUND REBAR	—	— OHU	OVERHEAD POWER LINE
○ FOM	FOUND MONUMENT	—	— FOC	FIBER OPTIC LINE
○ PP	UTILITY POLE	—	○ G	GAS MARKER
—	STREET SIGN	—	□ CB	CURB INLET
—	GAS VALVE	—	○ CB	CATCH BASIN
—	WATER VALVE	—	○ W	IRRIGATION WELL
—	CURB STOP	—	⊗	ELECTRIC POST
○ MH	MANHOLE	—		

LEGEND

(S)	MINIMUM BUILDING SETBACK (AS NOTED)
(E)	5' ROADWAY MAINTENANCE, DRAINAGE & UTILITY EASEMENT
(D)	DRAINAGE, MAINTENANCE & ACCESS EASEMENT
(R)	RETENTION AREA/Common Area
(W)	SIDEWALK EASEMENT
(L)	DRAINAGE, LANDSCAPE & ACCESS EASEMENT
(SS)	SANITARY SEWER EASEMENT
(U)	UTILITY & ACCESS EASEMENT
(P)	DRAINAGE, ACCESS, UTILITY & MAINTENANCE EASEMENT
(S)	5' PARKING SETBACK
(PS)	PARKING SPACE COUNT

TRILogy REAL ESTATE OF GOSHEN, LLC
INSTR. #2014-07154



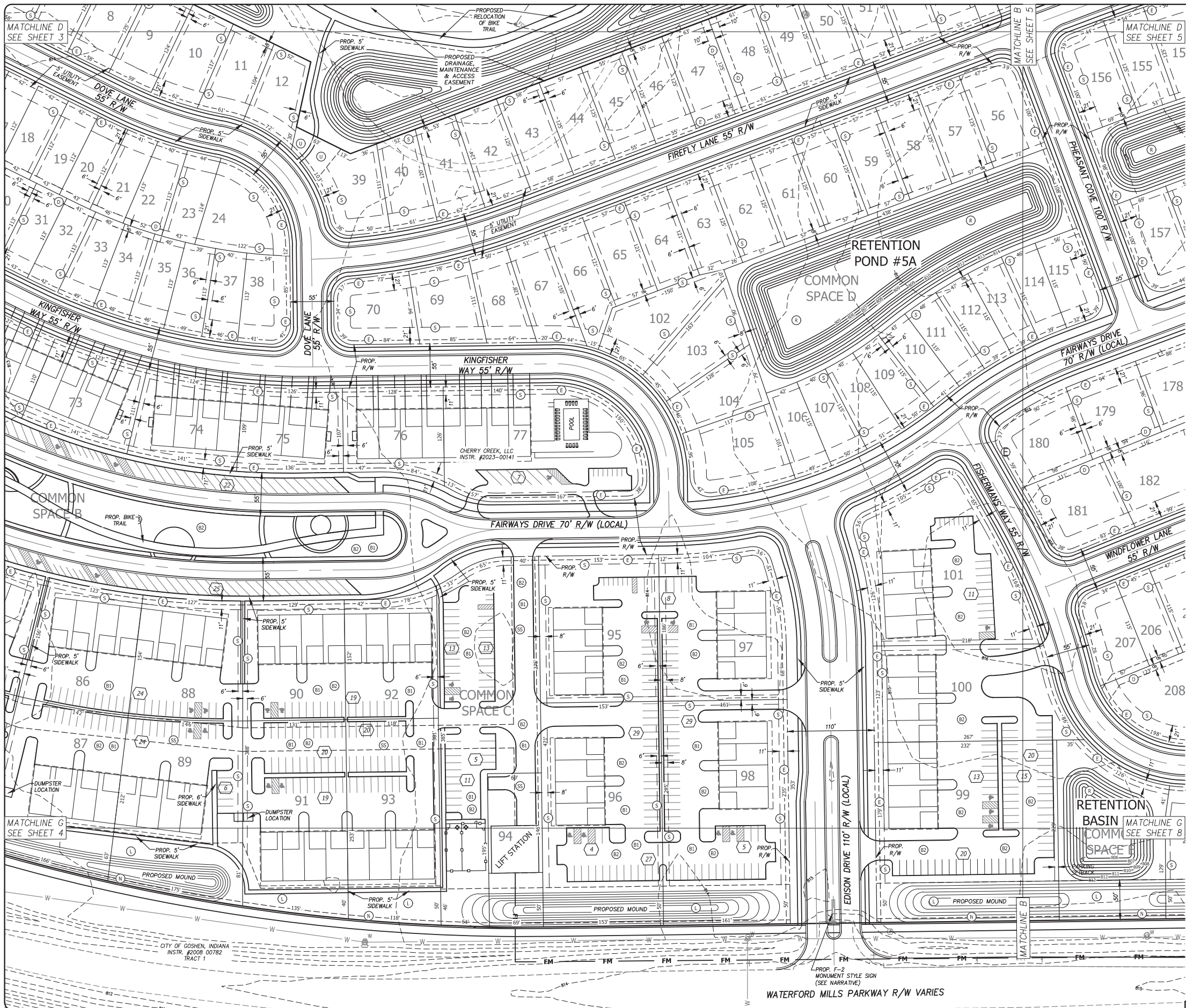
ABONMARCHÉ
Valparaiso
Hobart
Bluffton
Fort Wayne
Lafayette
Grand Rapids
Benton Harbor
South Bend
Goshen, IN 46526
Phone: 317.743.1113
Fax: 317.743.9371
abonmarche.com

**CHERRY CREEK
PRIMARY SUBDIVISION**
WATERFORD MILLS PARKWAY
REGENT STREET / DIERDORFF ROAD
GOSHEN, IN 46526

PRIMARY SUBDIVISION

SHEET TITLE:
DRAWN BY: TRM/KG
DESIGNED BY: KG
PM REVIEW: BEM
QA/QC REVIEW: BEM/AJM
DATE: 09-18-24
SEAL: MICHAEL J. ROZICKI
REGISTERED PROFESSIONAL LAND SURVEYOR
LS20500010
STATE OF INDIANA
SIGNATURE: [Signature]
DATE:
SCALE: 1" = 60'
ACT JOB #: 22-1784
SHEET NO: 5 of 28

NO.	REVISION DESCRIPTION	BY	DATE



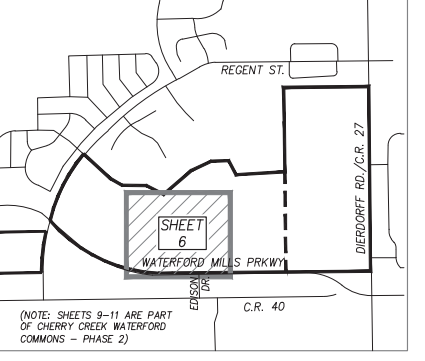
**CHERRY CREEK
PRIMARY SUBDIVISION**
 PART OF THE WEST 1/2 OF SECTION 26 & A PART OF THE
 SOUTH 1/2 OF SECTION 27, BOTH IN TOWNSHIP 36
 NORTH, RANGE 6 EAST, CITY OF GOSHEN, ELKHART
 TOWNSHIP, ELKHART COUNTY, INDIANA
 TAX ID#S: 20-11-27-426-036.000-015;
 20-11-26-351-022.000-015; 20-11-26-301-014.000-015
 & 20-11-27-377-001.000-015
 (SEE PAGE 2 OF 29 FOR LEGAL DESCRIPTION
 & GENERAL NOTES)

SURVEY LEGEND

○ SCI	SET REBAR W/ YELLOW CAP "ABONMACHE FIRM #0050"	△	TELEPHONE PEDESTAL
○ SMAG	SET MAG NAIL	○ SMH	SANITARY MANHOLE
● FIP	FOUND IRON PIPE	→	FIRE HYDRANT
● FCI	FOUND CAPPED IRON	→	GUY WIRE
● FIR	FOUND REBAR	□	MAILBOX
● FM	FOUND MONUMENT	□	UTILITY TUB
● PP	UTILITY POLE	○	CABLE PEDESTAL
● S	STREET SIGN	○	FIBER OPTIC MARKER
● G	GAS VALVE	○	CURB INLET
● CS	WATER VALVE	○	CATCH BASIN
● MH	CURB STOP	○	IRRIGATION WELL
● SL	MANHOLE	○	ELECTRIC POST
●	STREET LIGHT	○	WATER LINE
		— E —	ELECTRIC LINE
		— G —	GAS LINE
		— T —	TELEPHONE LINE
		— OHU —	OVERHEAD POWER LINE
		— FOC —	FIBER OPTIC LINE

LEGEND

- S MINIMUM BUILDING SETBACK (AS NOTED)
- E 5' ROADWAY MAINTENANCE, DRAINAGE & UTILITY EASEMENT
- D DRAINAGE, MAINTENANCE & ACCESS EASEMENT
- R RETENTION AREA/COMMON AREA
- V SIDEWALK EASEMENT
- L DRAINAGE, LANDSCAPE & ACCESS EASEMENT
- S SANITARY SEWER EASEMENT
- U UTILITY & ACCESS EASEMENT
- E DRAINAGE, ACCESS, UTILITY & MAINTENANCE EASEMENT
- P 5' PARKING SETBACK
- P 5' PARKING SETBACK
- B1 BLANKET EASEMENT FOR SHARED ACCESS, PARKING, DRAINAGE, SANITARY SEWER, AND WATER SERVICE FOR LOTS 1 & 2, 78-93, 95-98 AND 99 & 100
- B2 BLANKET ACCESS EASEMENT FOR PUBLIC USE OF PARKING, DRIVING AISLES, AND PUBLIC AND QUASI-PUBLIC PARKS AND RECREATION AREAS IDENTIFIED ON THE PUD LAND USE AND CONDITIONAL USE MAP
- B3 PARKING SPACE COUNT



ABONMACHE
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 Fax: 765.233.9311
 abonmache.com

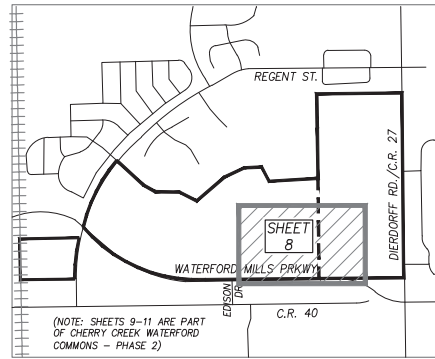
**CHERRY CREEK
PRIMARY SUBDIVISION**
 WATERFORD MILLS PARKWAY
 REGENT STREET / DIERDORFF ROAD
 GOSHEN, IN 46526

PRIMARY SUBDIVISION

SHEET TITLE:
 DRAWN BY: TRM/KG
 DESIGNED BY: KG
 PM REVIEW: BEM
 QA/QC REVIEW: BEM/AJM
 DATE: 09-18-24
 SEAL: MICHAEL J. ROZICKI
 REGISTERED PROFESSIONAL LAND SURVEYOR
 LS20500010
 STATE OF INDIANA
 SIGNATURE: [Signature]
 DATE:
 SCALE: 1" = 60'
 ACI JOB # 22-1784
 SHEET NO. 6 of 28

CHERRY CREEK PRIMARY SUBDIVISION

PART OF THE WEST 1/2 OF SECTION 26 & A PART OF THE SOUTH 1/2 OF SECTION 27, BOTH IN TOWNSHIP 36 NORTH, RANGE 6 EAST, CITY OF GOSHEN, ELKHART COUNTY, INDIANA
 TAX ID#S: 20-11-27-426-036.000-015; 20-11-26-351-022.000-015; 20-11-26-301-014.000-015 & 20-11-27-377-001.000-015
 (SEE PAGE 2 OF 29 FOR LEGAL DESCRIPTION & GENERAL NOTES)

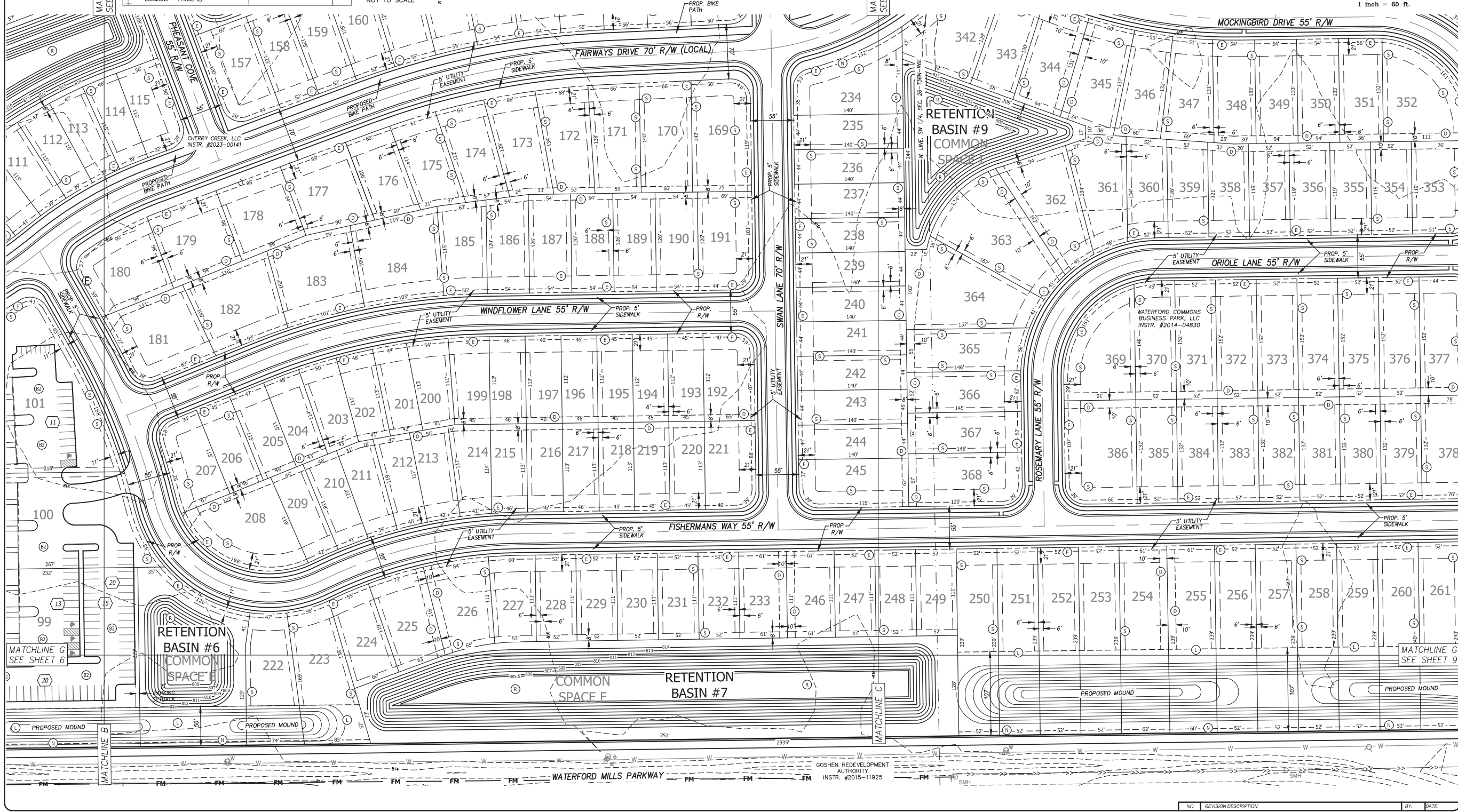
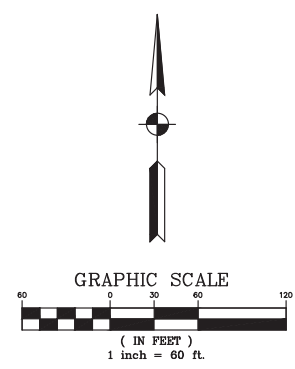


SURVEY LEGEND

SC1	SET REBAR W/ YELLOW CAP "ABONMARCHÉ FIRM #0050"	△	TELEPHONE PEDESTAL
SMAG	SET MAG NAIL	○	SANITARY MANHOLE
FIP	FOUND IRON PIPE	○	FIRE HYDRANT
FCI	FOUND CAPPED IRON	→	GUY WIRE
FIR	FOUND REBAR	□	MAILBOX
FM	FOUND MONUMENT	□	UTILITY TUB
UP	UTILITY POLE	○	CABLE PEDESTAL
SS	STREET SIGN	○	FIBER OPTIC MARKER
GV	GAS VALVE	☆	STREET LIGHT
WV	WATER VALVE		
CS	CURB STOP		
MH	MANHOLE		

LEGEND

W	WATER LINE
E	ELECTRIC LINE
G	GAS LINE
T	TELEPHONE LINE
OHU	OVERHEAD POWER LINE
FOC	FIBER OPTIC LINE
○	MINIMUM BUILDING SETBACK (AS NOTED)
○	5' ROADWAY MAINTENANCE, DRAINAGE & UTILITY EASEMENT
○	DRAINAGE, MAINTENANCE & ACCESS EASEMENT
○	RETENTION AREA/Common Area
○	SIDEWALK EASEMENT
○	DRAINAGE, LANDSCAPE & ACCESS EASEMENT
○	SANITARY SEWER EASEMENT
○	UTILITY & ACCESS EASEMENT
○	DRAINAGE, ACCESS, UTILITY & MAINTENANCE EASEMENT
○	5' PARKING SETBACK
○	5' NON-ACCESS EASEMENT
○	PARKING SPACE COUNT



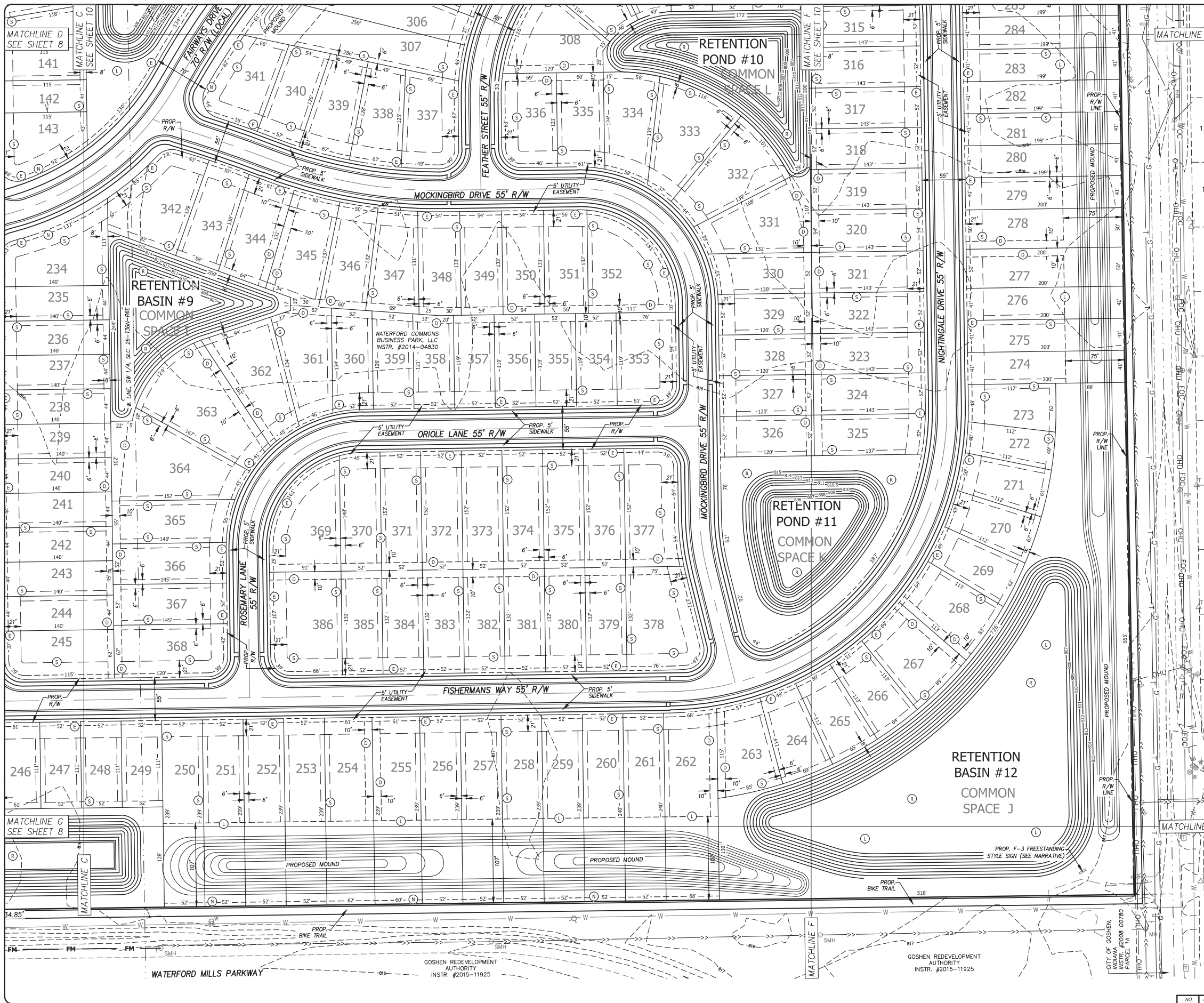
ABONMARCHÉ
 Valeriano Hobart
 303 River Race Drive, Unit 206
 Goshen, IN 46526
 Phone: 773.333.9313
 Fax: 773.333.9311
 abonmarche.com

**CHERRY CREEK
PRIMARY SUBDIVISION**
 WATERFORD MILLS PARKWAY
 REGENT STREET / DIERDORFF ROAD
 GOSHEN, IN 46526

PRIMARY SUBDIVISION

SHEET TITLE:
 DRAWN BY: TRM/KG
 DESIGNED BY: KG
 PM REVIEW: BEM
 QA/QC REVIEW: BEM/AJM
 DATE: 09-18-24
 SEAL: MICHAEL J. ROZICKI
 REGISTERED SURVEYOR
 LS20500010
 STATE OF INDIANA
 LAND SURVEYOR
 SIGNATURE: [Signature]
 DATE:
 SCALE: 1" = 60'
 ACI JOB #: 22-1784
 SHEET NO: 8 of 28

NO.	REVISION DESCRIPTION	BY	DATE



CHERRY CREEK PRIMARY SUBDIVISION

PART OF THE WEST 1/2 OF SECTION 26 & A PART OF
THE SOUTH 1/2 OF SECTION 27, BOTH IN TOWNSHIP
36 NORTH, RANGE 6 EAST, CITY OF GOSHEN,
ELKHART TOWNSHIP, ELKHART COUNTY, INDIANA
TAX ID#'S: 20-11-27-426-036.000-015;
20-11-26-351-022.000-015;
20-11-26-301-014.000-015 &
20-11-27-377-001.000-015
(SEE PAGE 2 OF 29 FOR LEGAL DESCRIPTION
& GENERAL NOTES)

KEY MAP
NOT TO SCALE

SURVEY LEGEND

○ SCI	SET REBAR W/ YELLOW CAP "ABONMACHE FIRM #0050"	△ T	TELEPHONE PEDESTAL
○ SMAG	SET MAG NAIL	○ SMH	SANITARY MANHOLE
● FIP	FOUND IRON PIPE	→	FIRE HYDRANT
● FCI	FOUND CAPPED IRON	—	GUY WIRE
● FIR	FOUND REBAR	□	MAILBOX
● FOM	FOUND MONUMENT	□	UTILITY TUB
○ PP	UTILITY POLE	△ C	CABLE PEDESTAL
○ S	STREET SIGN	○ FOM	FIBER OPTIC MARKER
○ W	WATER VALVE	□ G	GAS MARKER
○ CS	CURB STOP	□ CB	CURB INLET
○ MH	MANHOLE	○ CB	CATCH BASIN
○ SL	STREET LIGHT	○ IW	IRRIGATION WELL
		⊗	ELECTRIC POST
		— W	WATER LINE
		— E	ELECTRIC LINE
		— G	GAS LINE
		— T	TELEPHONE LINE
		— OHP	OVERHEAD POWER LINE
		— FOC	FIBER OPTIC LINE

LEGEND

- (S) MINIMUM BUILDING SETBACK (AS NOTED)
- (E) 5' ROADWAY MAINTENANCE, DRAINAGE & UTILITY EASEMENT
- (D) DRAINAGE, MAINTENANCE & ACCESS EASEMENT
- (R) RETENTION AREA/Common Area
- (W) SIDEWALK EASEMENT
- (L) DRAINAGE, LANDSCAPE & ACCESS EASEMENT
- (SS) SANITARY SEWER EASEMENT
- (U) UTILITY & ACCESS EASEMENT
- (F) DRAINAGE, ACCESS, UTILITY & MAINTENANCE EASEMENT
- (P) 5' PARKING SETBACK
- (IS) PARKING SPACE COUNT

GRAPHIC SCALE

(IN FEET)
1 inch = 60 ft.

ABONMACHE

303 River Race Drive, Unit 206
Goshen, IN 46526
Phone: 773.333.9113
Fax: 773.333.9131
abonmache.com

Valentino
Benton Harbor
South Bend
Hobart
Bluffton
Fort Wayne
Lafayette
Grand Rapids

Engineering Architecture Land Surveying

**CHERRY CREEK
PRIMARY SUBDIVISION**

WATERFORD MILLS PARKWAY
REGENT STREET / DIERDORFF ROAD
GOSHEN, IN 46526

PROJECT:

SHEET TITLE:

DRAWN BY:
TRM/KG

DESIGNED BY:
KG

PM REVIEW:
BEM

QA/QC REVIEW:
BEM/AJM

DATE:
09-18-24

SEAL:

MICHAEL J. ROZICKI
REGISTERED
LS20500010
STATE OF
INDIANA
LAND SURVEYOR

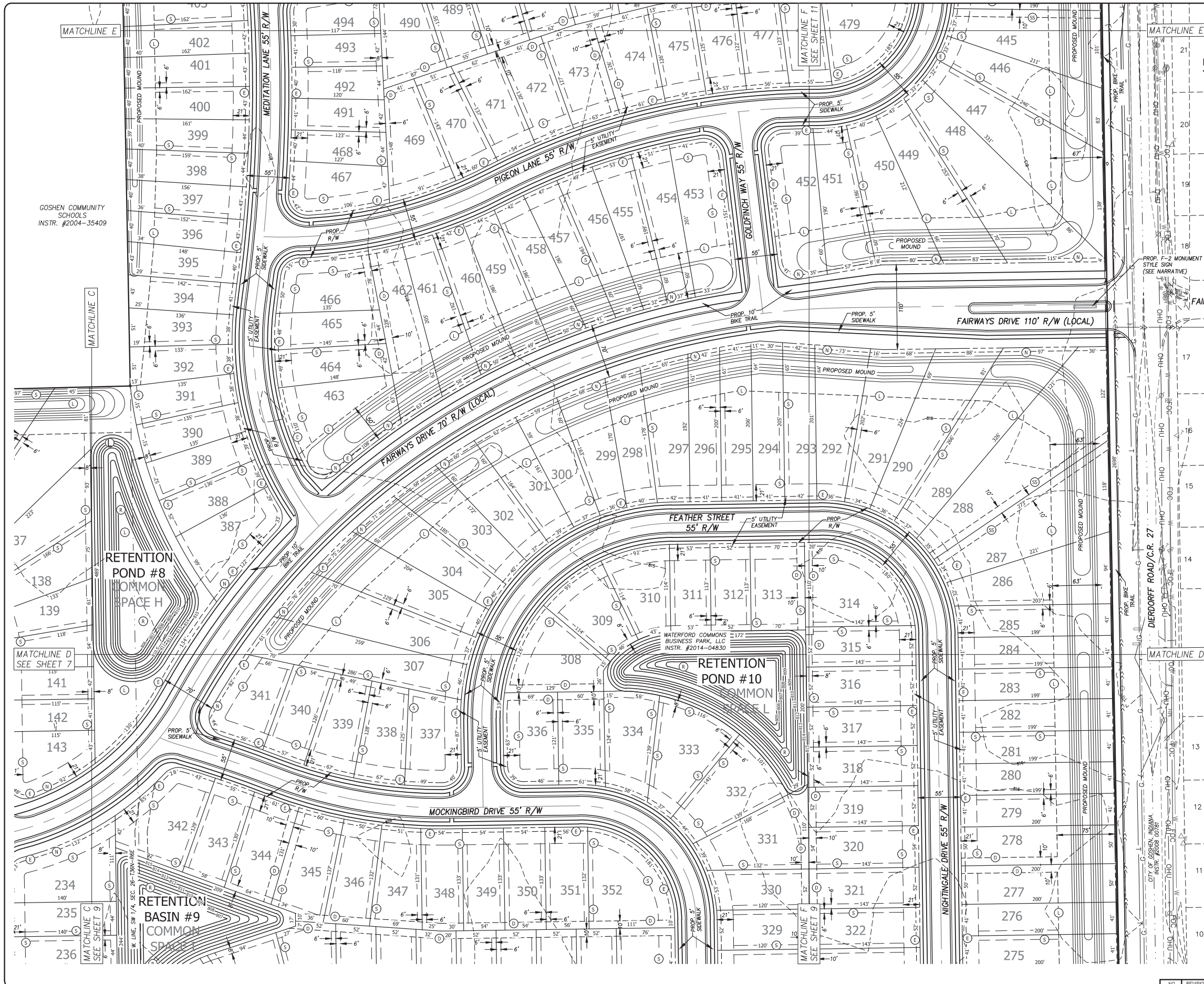
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DATE:

SCALE:
1" = 60'

ACT JOB #
22-1784

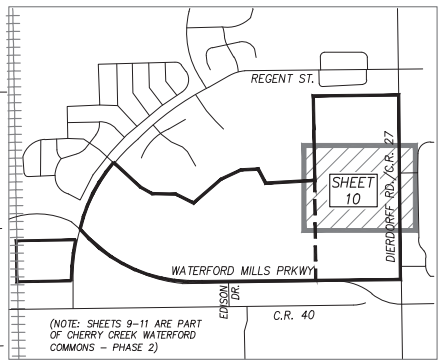
SHEET NO.
9 of 28



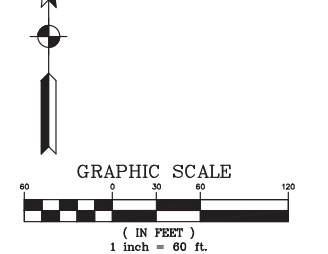
GOSHEN COMMUNITY SCHOOLS
INSTR. #2004-35409

**CHERRY CREEK
PRIMARY SUBDIVISION**
PART OF THE WEST 1/2 OF SECTION 26 & A PART OF
THE SOUTH 1/2 OF SECTION 27, BOTH IN TOWNSHIP
36 NORTH, RANGE 6 EAST, CITY OF GOSHEN,
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20-11-27-377-001.000-015
(SEE PAGE 2 OF 29 FOR LEGAL DESCRIPTION
& GENERAL NOTES)

- LEGEND**
- (S) MINIMUM BUILDING SETBACK (AS NOTED)
 - (D) 5' ROADWAY MAINTENANCE, DRAINAGE & UTILITY EASEMENT
 - (E) DRAINAGE, MAINTENANCE & ACCESS EASEMENT
 - (R) RETENTION AREA/COMMON AREA
 - (L) SIDEWALK EASEMENT
 - (M) DRAINAGE, LANDSCAPE & ACCESS EASEMENT
 - (SS) SANITARY SEWER EASEMENT
 - (U) UTILITY & ACCESS EASEMENT
 - (P) DRAINAGE, ACCESS, UTILITY & MAINTENANCE EASEMENT
 - (N) 5' PARKING SETBACK
 - (NA) 5' NON-ACCESS EASEMENT
 - (PK) PARKING SPACE COUNT



- KEY MAP**
NOT TO SCALE
- SURVEY LEGEND**
- | | | | | |
|--------|---|-------|--------------------|---------------------|
| ○ SCI | SET REBAR W/ YELLOW CAP "ABONMARCHE FIRM #0050" | ○ T | TELEPHONE PEDESTAL | |
| ○ SMAG | SET MAG NAIL | ○ SMH | SANITARY MANHOLE | |
| ○ FIP | FOUND IRON PIPE | ○ FH | FIRE HYDRANT | |
| ● FCI | FOUND CAPPED IRON | — | GUY WIRE | |
| ● FIR | FOUND REBAR | — | MAILBOX | |
| ⊕ | FOUND MONUMENT | — | UTILITY TUB | |
| ○ PP | UTILITY POLE | — | CABLE PEDESTAL | |
| + | STREET SIGN | — | FIBER OPTIC MARKER | |
| ⊗ | GAS VALVE | — | ○ | GAS MARKER |
| ⊗ | WATER VALVE | — | □ | CURB INLET |
| ○ CS | CURB STOP | — | ○ | CATCH BASIN |
| ○ MH | MANHOLE | — | ○ | IRRIGATION WELL |
| ☆ | STREET LIGHT | — | ⊗ | ELECTRIC POST |
| | | — | — | WATER LINE |
| | | — | — | ELECTRIC LINE |
| | | — | — | GAS LINE |
| | | — | — | TELEPHONE LINE |
| | | — | — | OVERHEAD POWER LINE |
| | | — | — | FIBER OPTIC LINE |



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**CHERRY CREEK
PRIMARY SUBDIVISION**
WATERFORD MILLS PARKWAY
REGENT STREET / DIERDORFF ROAD
GOSHEN, IN 46526

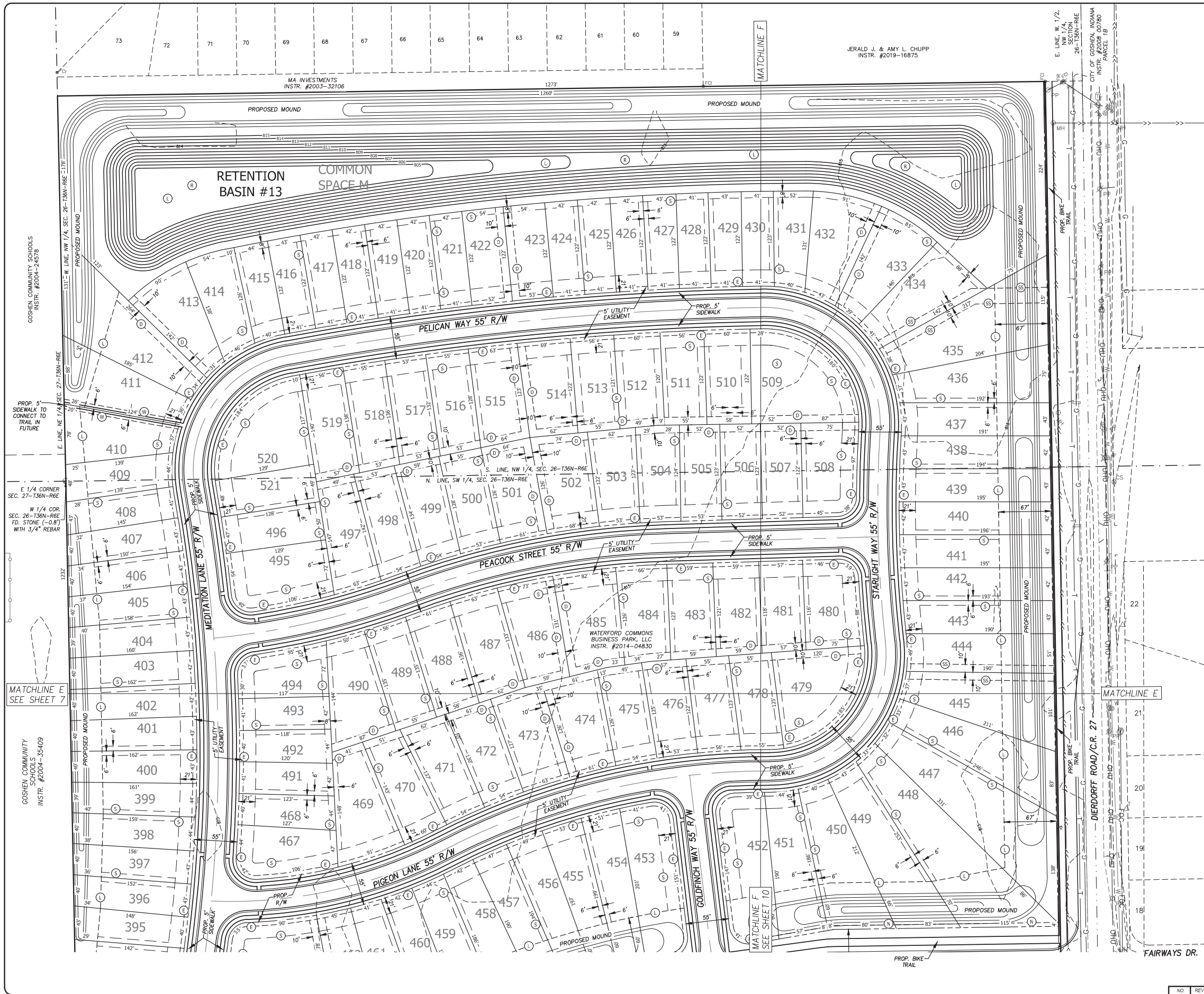
PRIMARY SUBDIVISION

SHEET TITLE: CHERRY CREEK PRIMARY SUBDIVISION

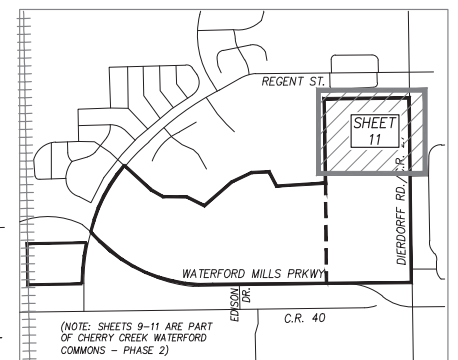
DRAWN BY: TRM/KG
DESIGNED BY: KG
PM REVIEW: BEM
QA/QC REVIEW: BEM/AJM
DATE: 09-18-24

SEAL: MICHAEL J. ROZICKI, REGISTERED LAND SURVEYOR, STATE OF INDIANA, LS20500010

SIGNATURE: [Signature]
DATE: [Blank]
SCALE: 1" = 60'
ACT. JOB #: 22-1784
SHEET NO: 10 of 28



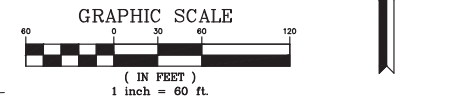
**CHERRY CREEK
PRIMARY SUBDIVISION**
PART OF THE WEST 1/2 OF SECTION 26 & A PART OF
THE SOUTH 1/2 OF SECTION 27, BOTH IN TOWNSHIP
36 NORTH, RANGE 6 EAST, CITY OF GOSHEN,
ELKHART TOWNSHIP, ELKHART COUNTY, INDIANA
TAX ID #'S: 20-11-27-426-036.000-015;
20-11-26-351-022.000-015;
20-11-26-301-014.000-015 &
20-11-27-377-001.000-015
(SEE PAGE 2 OF 29 FOR LEGAL DESCRIPTION
& GENERAL NOTES)



KEY MAP
NOT TO SCALE

- LEGEND**
- (S) MINIMUM BUILDING SETBACK (AS NOTED)
 - (E) 5' ROADWAY MAINTENANCE, DRAINAGE & UTILITY EASEMENT
 - (D) DRAINAGE, MAINTENANCE & ACCESS EASEMENT
 - (R) RETENTION AREA/Common AREA
 - (W) SIDEWALK EASEMENT
 - (L) DRAINAGE, LANDSCAPE & ACCESS EASEMENT
 - (SS) SANITARY SEWER EASEMENT
 - (U) UTILITY & ACCESS EASEMENT
 - (F) DRAINAGE, ACCESS, UTILITY & MAINTENANCE EASEMENT
 - (P) 5' PARKING SETBACK
 - (N) 5' NON-ACCESS EASEMENT
 - (PS) PARKING SPACE COUNT

- SURVEY LEGEND**
- SC1 SET REBAR W/ YELLOW CAP "ABONMARCHE FIRM #0050"
 - SMAG SET MAG NAIL
 - FIP FOUND IRON PIPE
 - FCI FOUND CAPPED IRON
 - FIR FOUND REBAR
 - FOM FOUND MONUMENT
 - UP UTILITY POLE
 - ST SIGN STREET SIGN
 - GV GAS VALVE
 - WI WATER VALVE
 - CS CURB STOP
 - MH MANHOLE
 - SL STREET LIGHT
 - TP TELEPHONE PEDESTAL
 - SMH SANITARY MANHOLE
 - FH FIRE HYDRANT
 - GW GUY WIRE
 - MB MAILBOX
 - UT UTILITY TUB
 - CP CABLE PEDESTAL
 - FM FIBER OPTIC MARKER
 - GM GAS MARKER
 - CI CURB INLET
 - CB CATCH BASIN
 - IR IRRIGATION WELL
 - EP ELECTRIC POST
 - WL WATER LINE
 - EL ELECTRIC LINE
 - GL GAS LINE
 - TL TELEPHONE LINE
 - OHU OVERHEAD POWER LINE
 - FOC FIBER OPTIC LINE



ABONMARCHE
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Hobart
South Bend
Elkhart
Fort Wayne
Lafayette
Grand Rapids
Benton Harbor
Goshen, IN 46526
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abonmarche.com
Engineering - Architecture - Land Surveying

**CHERRY CREEK
PRIMARY SUBDIVISION**
WATERFORD MILLS PARKWAY
REGENT STREET / DIERDORFF ROAD
GOSHEN, IN 46526

PRIMARY SUBDIVISION

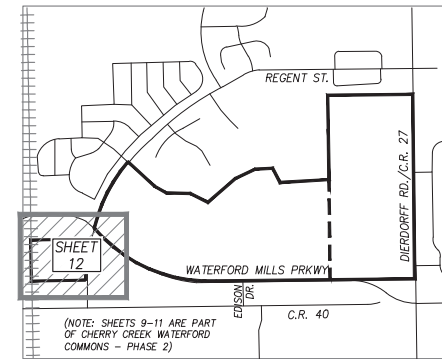
SHEET TITLE:
DRAWN BY: TRM/KG
DESIGNED BY: KG
PM REVIEW: BEM
QA/QC REVIEW: BEM/AJM
DATE: 09-18-24
SEAL: MICHAEL J. ROZICKI, REGISTERED PROFESSIONAL SURVEYOR, STATE OF INDIANA, LICENSE NO. LS2050010
SIGNATURE: [Signature]
DATE:
SCALE: 1" = 60'
ACT. JOB # 22-1784
SHEET NO. 11 of 28

CHERRY CREEK PRIMARY SUBDIVISION

PART OF THE WEST 1/2 OF SECTION 26 & A PART OF THE SOUTH 1/2 OF SECTION 27, BOTH IN TOWNSHIP 36 NORTH, RANGE 6 EAST, CITY OF GOSHEN, ELKHART TOWNSHIP, ELKHART COUNTY, INDIANA
 TAX ID#'S: 20-11-27-426-036.000-015; 20-11-26-351-022.000-015; 20-11-26-301-014.000-015 & 20-11-27-377-001.000-015
 (SEE PAGE 2 OF 29 FOR LEGAL DESCRIPTION & GENERAL NOTES)

LEGEND

- (S) MINIMUM BUILDING SETBACK (AS NOTED)
- (E) 5' ROADWAY MAINTENANCE, DRAINAGE & UTILITY EASEMENT
- (D) DRAINAGE, MAINTENANCE & ACCESS EASEMENT
- (R) RETENTION AREA/COMMON AREA
- (W) SIDEWALK EASEMENT
- (L) DRAINAGE, LANDSCAPE & ACCESS EASEMENT
- (SS) SANITARY SEWER EASEMENT
- (U) UTILITY & ACCESS EASEMENT
- (F) DRAINAGE, ACCESS, UTILITY & MAINTENANCE EASEMENT
- (P) 5' PARKING SETBACK
- (B1) BLANKET EASEMENT FOR SHARED ACCESS, PARKING, DRAINAGE, SANITARY SEWER, AND WATER SERVICE FOR LOTS 1 & 2, 78-93, 95-98 AND 99 & 100
- (B2) BLANKET ACCESS EASEMENT FOR PUBLIC USE OF PARKING, DRIVING AISLES, AND PUBLIC AND QUASI-PUBLIC PARKS AND RECREATION AREAS IDENTIFIED ON THE PUD LAND USE AND CONDITIONAL USE MAP
- (15) PARKING SPACE COUNT



KEY MAP
NOT TO SCALE

SURVEY LEGEND

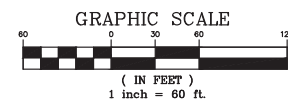
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|--------|---|-------|---------------------|
| ○ SCI | SET REBAR W/ YELLOW CAP "ABONMARCHÉ FIRM #0050" | △ | TELEPHONE PEDESTAL |
| ○ SMAG | SET MAG NAIL | ○ SMH | SANITARY MANHOLE |
| ● FIP | FOUND IRON PIPE | → | FIRE HYDRANT |
| ● FCI | FOUND CAPPED IRON | → | GUY WIRE |
| ● FIR | FOUND REBAR | □ | MAILBOX |
| ● FM | FOUND MONUMENT | □ | UTILITY TUB |
| ● PP | UTILITY POLE | □ | CABLE PEDESTAL |
| ● S | STREET SIGN | ○ | FIBER OPTIC MARKER |
| ● G | GAS VALVE | ○ | GAS MARKER |
| ● W | WATER VALVE | □ | CURB INLET |
| ● CS | CURB STOP | □ | CATCH BASIN |
| ● MH | MANHOLE | ○ | IRRIGATION WELL |
| ● SL | STREET LIGHT | ○ | ELECTRIC POST |
| | | — W | WATER LINE |
| | | — E | ELECTRIC LINE |
| | | — G | GAS LINE |
| | | — T | TELEPHONE LINE |
| | | — OHU | OVERHEAD POWER LINE |
| | | — FOC | FIBER OPTIC LINE |

PREPARED BY
 ABONMARCHÉ CONSULTANTS, INC.
 303 RIVER RACE DRIVE, UNIT 206
 GOSHEN, IN 46526
 PHONE: (574) 533-9913
 FAX: (574) 533-9911

DEVELOPER
 CHERRY CREEK, LLC
 ATTN: TONYA DETWEILER
 1630 TIMBERLINE DRIVE
 GOSHEN, IN 46526
 PHONE: 574-370-7774

OWNERS
 CHERRY CREEK, LLC
 ATTN: TONYA DETWEILER
 1630 TIMBERLINE DRIVE
 GOSHEN, IN 46526
 PHONE: 574-370-7774

WATERFORD COMMONS BUSINESS PARK LLC
 1738 W LINCOLN AVE
 GOSHEN, IN 46526-5906



ABONMARCHÉ
 Valparaiso
 Hobart
 Ellettsville
 Fort Wayne
 Grand Rapids
 Lafayette

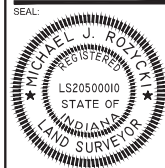
303 River Race Drive, Unit 206
 Goshen, IN 46526
 Phone: (574) 533-9913
 Fax: (574) 533-9911
 abonmarche.com

Engineering Architecture Land Surveying

PROJECT:
**CHERRY CREEK
 PRIMARY SUBDIVISION**
 WATERFORD MILLS PARKWAY
 REGENT STREET / DIERDORFF ROAD
 GOSHEN, IN 46526

PROJECT TITLE:
PRIMARY SUBDIVISION

DRAWN BY:
 TRM/KG
 DESIGNED BY:
 KG
 PM REVIEW:
 BEM
 QA/QC REVIEW:
 BEM/AJM
 DATE:
 09-18-24



SIGNATURE:
 DATE:

SCALE:
 1" = 60'

ACI JOB #
 22-1784

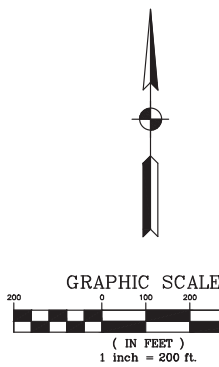
SHEET NO.
12 of 28

CHERRY CREEK PRIMARY SUBDIVISION

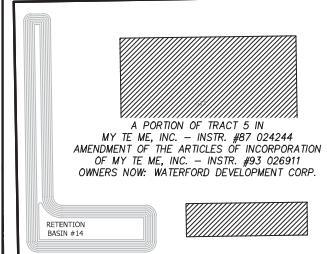
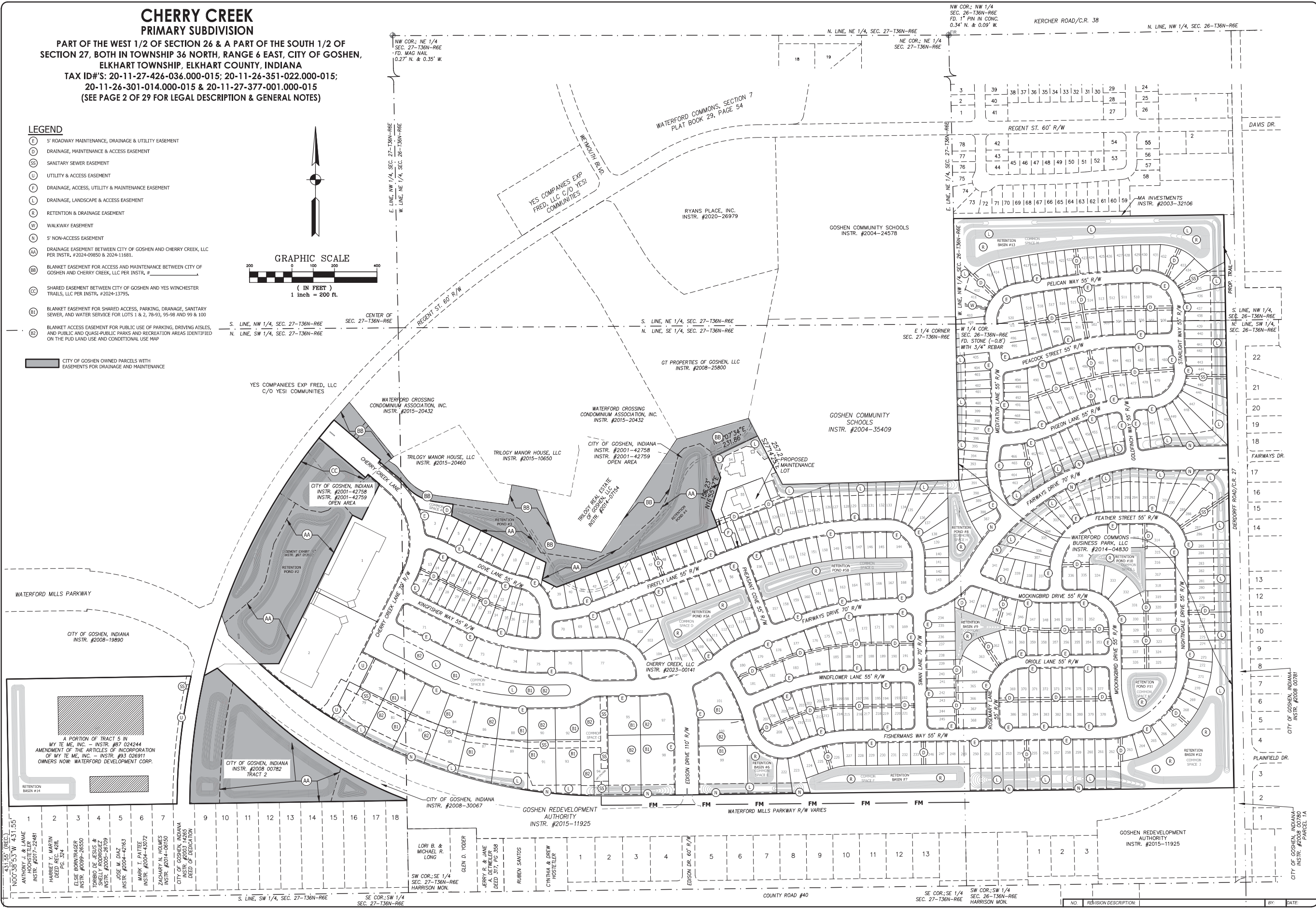
PART OF THE WEST 1/2 OF SECTION 26 & A PART OF THE SOUTH 1/2 OF SECTION 27, BOTH IN TOWNSHIP 36 NORTH, RANGE 6 EAST, CITY OF GOSHEN, ELKHART TOWNSHIP, ELKHART COUNTY, INDIANA
 TAX ID#S: 20-11-27-426-036.000-015; 20-11-26-351-022.000-015; 20-11-26-301-014.000-015 & 20-11-27-377-001.000-015
 (SEE PAGE 2 OF 29 FOR LEGAL DESCRIPTION & GENERAL NOTES)

LEGEND

- (E) 5' ROADWAY MAINTENANCE, DRAINAGE & UTILITY EASEMENT
- (D) DRAINAGE, MAINTENANCE & ACCESS EASEMENT
- (S) SANITARY SEWER EASEMENT
- (U) UTILITY & ACCESS EASEMENT
- (L) DRAINAGE, ACCESS, UTILITY & MAINTENANCE EASEMENT
- (F) DRAINAGE, LANDSCAPE & ACCESS EASEMENT
- (R) RETENTION & DRAINAGE EASEMENT
- (W) WALKWAY EASEMENT
- (N) 5' NON-ACCESS EASEMENT
- (AA) DRAINAGE EASEMENT BETWEEN CITY OF GOSHEN AND CHERRY CREEK, LLC PER INSTR. # 2024-09850 & 2024-11681.
- (BB) BLANKET EASEMENT FOR ACCESS AND MAINTENANCE BETWEEN CITY OF GOSHEN AND CHERRY CREEK, LLC PER INSTR. #
- (CC) SHARED EASEMENT BETWEEN CITY OF GOSHEN AND YES WINCHESTER TRAILS, LLC PER INSTR. #2024-13795.
- (EL) BLANKET EASEMENT FOR SHARED ACCESS, PARKING, DRAINAGE, SANITARY SEWER, AND WATER SERVICE FOR LOTS 1 & 2, 78-93, 95-98 AND 99 & 100
- (EC) BLANKET ACCESS EASEMENT FOR PUBLIC USE OF PARKING, DRIVING AISLES, AND PUBLIC AND QUASI-PUBLIC PARKS AND RECREATION AREAS IDENTIFIED ON THE PUD LAND USE AND CONDITIONAL USE MAP



CITY OF GOSHEN OWNED PARCELS WITH EASEMENTS FOR DRAINAGE AND MAINTENANCE



1	ANTHONY J. & LAJANE GOSCHEN, INC. INSTR. #2017-22481
2	HARRIET V. MARTIN DEED REC. 428, PG. 324
3	ELSE ROHRTRAGER INSTR. #2009-06550
4	TORIBIO DE JESUS & ANITA DE JESUS INSTR. #2005-07709
5	JOSE LUIS DIAZ INSTR. #2014-21613
6	MARK T. PATTEE INSTR. #2004-43072
7	ZACHARY N. HOLMES INSTR. #2014-06150
9	CITY OF GOSHEN, INDIANA INSTR. #2003-14265
10	CITY OF GOSHEN, INDIANA DEED OF DEDICATION
11	
12	
13	
14	
15	
16	
17	
18	

ABONMARCHÉ
 Valeriano Hobart
 303 River Race Drive, Unit 206
 Goshen, IN 46526
 Phone: 773.333.9313
 Fax: 773.333.9311
 abonmarche.com

**CHERRY CREEK
PRIMARY SUBDIVISION**
 WATERFORD MILLS PARKWAY
 REGENT STREET / DIERDORFF ROAD
 GOSHEN, IN 46526

**PRIMARY SUBDIVISION
(PROPOSED EASEMENTS)**

SHEET TITLE:
 DRAWN BY: TRM/KG
 DESIGNED BY: KG
 PM REVIEW: BEM
 QA/QC REVIEW: BEM/AJM
 DATE: 09-18-24
 SEAL: MICHAEL J. ROZCZNY
 REGISTERED SURVEYOR
 LS20500010
 STATE OF INDIANA
 LAND SURVEYOR

SIGNATURE: [Signature]
 DATE:
 SCALE: 1" = 200'
 ACI JOB #: 22-1784
 SHEET NO: 14 of 28

Engineering - Architecture - Land Surveying

CONTRACTOR: ABONMARCHÉ CONSULTANTS, INC.

GEOTECHNICAL EVALUATION REPORT

A Geotechnical Evaluation Report was prepared by Weaver Consultants Group dated May 25, 2023, for the project that includes soil borings, design recommendations, and construction considerations. The groundwater depth referenced in each retention summary is estimated from this report.

WETLAND NOTE

The Owner/Developer obtained a Jurisdictional Determination (JD) from the U.S. Army Corps of Engineers on January 31, 2024 stating that the area in question has been determined not to contain any wetlands within it, nor does it meet wetland criteria.

RETENTION BASIN C
(Dry Bottom)

Top of Bank = 812.0
Design High Water = 809.0
Bottom = 802.0**
Side Slopes = 4:1
**Bottom elevation set by existing pipes to be intercepted

RETENTION POND #3
(Wet Bottom)

Top of Bank = 812.0
Design High Water = 810.1
Normal Water (NW) = 808.5
Safety Ledge = 806.0
Bottom = 802.0
Side Slopes (Above NW) = 4:1
Side Slopes (Below NW) = 3:1
Estimated Groundwater < 803.0±

RETENTION POND #4
(Wet Bottom)

Top of Bank = 812.0
Design High Water = 811.0
Normal Water (NW) = 808.5
Safety Ledge = 806.0
Bottom = 802.0
Side Slopes (Above NW) = 4:1
Side Slopes (Below NW) = 3:1
Estimated Groundwater < 804.0±

RETENTION POND #5a
(Wet Bottom)

Top of Bank = 814.5
Design High Water = 812.6
Normal Water (NW) = 811.5
Safety Ledge = 809.0
Bottom = 805.0
Side Slopes (Above NW) = 3:1
Side Slopes (Below NW) = 2:1
Estimated Groundwater < 804.0±

RETENTION POND #5b
(Wet Bottom)

Top of Bank = 814.5
Design High Water = 812.6
Normal Water (NW) = 811.5
Safety Ledge = 809.0
Bottom = 805.0
Side Slopes (Above NW) = 3:1
Side Slopes (Below NW) = 2:1
Estimated Groundwater < 804.0±

RETENTION BASIN #13
(Dry Bottom)

Top of Bank = 815.0
Design High Water = 812.4
Bottom = 805.0
Side Slopes = 4:1
Estimated Groundwater < 803.0±

RETENTION POND #8
(Wet Bottom)

Top of Bank = 815.0
Design High Water = 813.6
Normal Water (NW) = 812.5
Safety Ledge = 810.0
Bottom = 806.0
Side Slopes (Above NW) = 4:1
Side Slopes (Below NW) = 3:1
Estimated Groundwater < 804.0±

RETENTION POND #2
(Wet Bottom)

Top of Bank = 811.0
Design High Water = 808.7
Normal Water (NW) = 806.5
Safety Ledge = 804.0
Bottom = 800.0
Side Slopes (Above NW) = 4:1
Side Slopes (Below NW) = 3:1
Estimated Groundwater < 802.0±

RETENTION BASIN #1
(Dry Bottom)

Top of Bank = 811.0
Design High Water = 809.1
Bottom = 804.0
Side Slopes = 4:1
Estimated Groundwater < 802.0±

RETENTION BASIN #14
(Dry Bottom)

Top of Bank = 811.0
Design High Water = 809.6
Bottom = 804.0
Side Slopes = 4:1
Estimated Groundwater < 802.0±

RETENTION BASIN #1
(Dry Bottom)

Top of Bank = 811.0
Design High Water = 809.1
Bottom = 804.0
Side Slopes = 4:1
Estimated Groundwater < 802.0±

RETENTION POND #6
(Dry Bottom)

Top of Bank = 813.0
Design High Water = 811.7
Bottom = 806.0
Side Slopes (Above NW) = 4:1
Side Slopes (Below NW) = 4:1
Estimated Groundwater < 805.0±

RETENTION BASIN #7
(Dry Bottom)

Top of Bank = 814.0
Design High Water = 812.8
Bottom = 807.0
Side Slopes = 4:1
Estimated Groundwater < 804.3±

RETENTION BASIN #9
(Dry Bottom)

Top of Bank = 815.0
Design High Water = 814.0
Bottom = 807.0
Side Slopes = 4:1
Estimated Groundwater < 805.0±

RETENTION POND #10
(Wet Bottom)

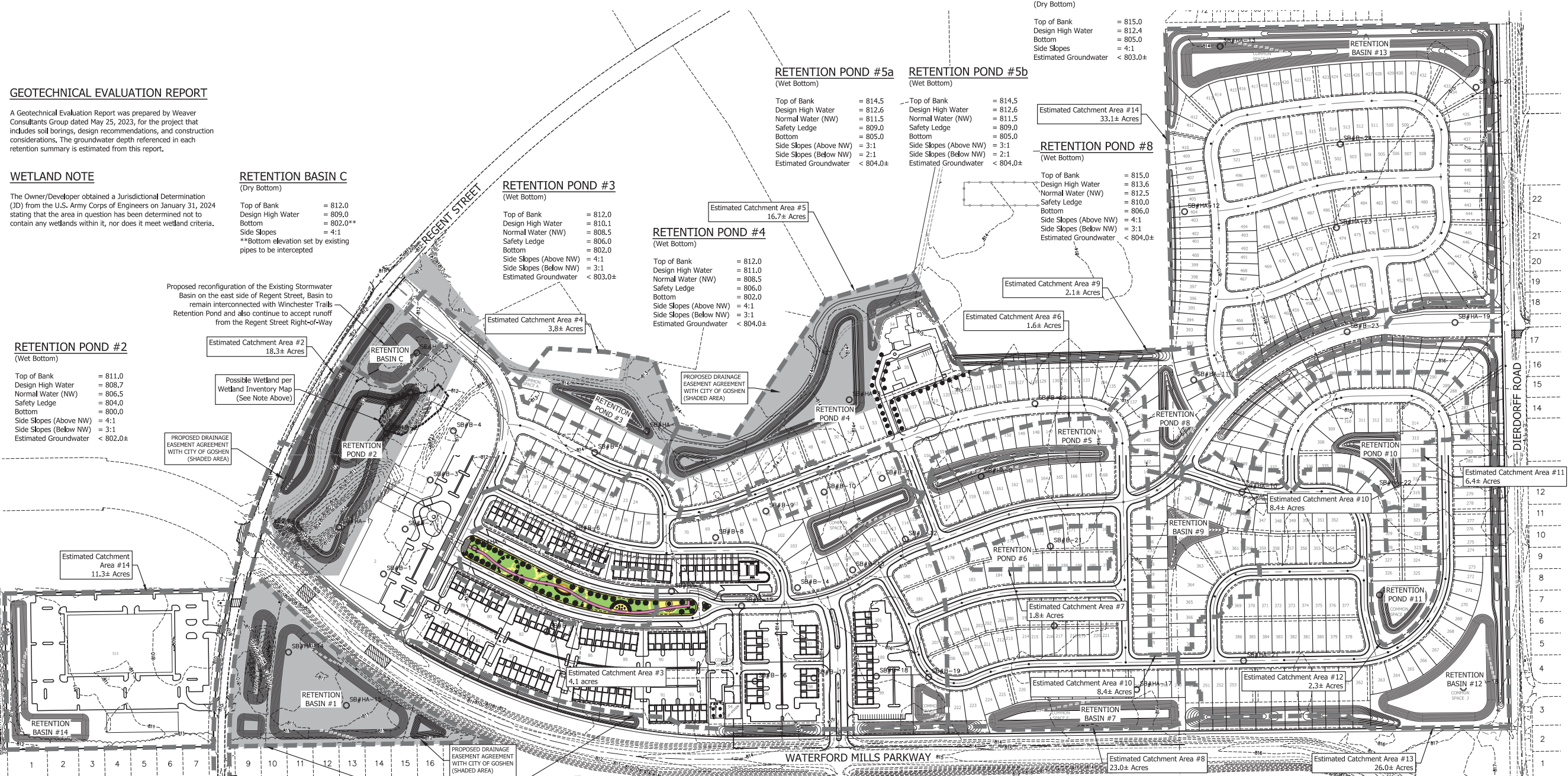
Top of Bank = 815.0
Design High Water = 814.1
Normal Water (NW) = 811.5
Safety Ledge = 809.0
Bottom = 805.0
Side Slopes (Above NW) = 4:1
Side Slopes (Below NW) = 3:1
Estimated Groundwater < 805.0±

RETENTION POND #11
(Wet Bottom)

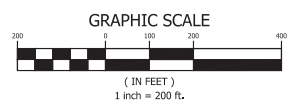
Top of Bank = 815.0
Design High Water = 814.1
Normal Water (NW) = 812.5
Safety Ledge = 810.0
Bottom = 806.0
Side Slopes (Above NW) = 4:1
Side Slopes (Below NW) = 3:1
Estimated Groundwater < 805.0±

RETENTION BASIN #12
(Dry Bottom)

Top of Bank = 815.0
Design High Water = 812.0
Bottom = 807.0
Side Slopes = 4:1
Estimated Groundwater < 805.0±



REFER TO SHEETS 21-27 FOR ENLARGED AREAS OF THE PROJECT FOR STORM SEWER, SANITARY SEWER, AND WATER MAIN LAYOUTS AND ADDITIONAL INFORMATION



SHEET TITLE: PRELIMINARY DRAINAGE PLAN
DRAWN BY: KG
DESIGNED BY: KG
PM REVIEW: BEM
QA/QC REVIEW: BEM/AJM
DATE: 09-18-24
SEAL: KAROL GOSK REGISTERED PROFESSIONAL ENGINEER STATE OF INDIANA PEI1900854
SIGNATURE: [Signature]
DATE: 09-18-24
SCALE: 1" = 200'
ACI JOB #: 22-1784
SHEET NO: 15 of 28

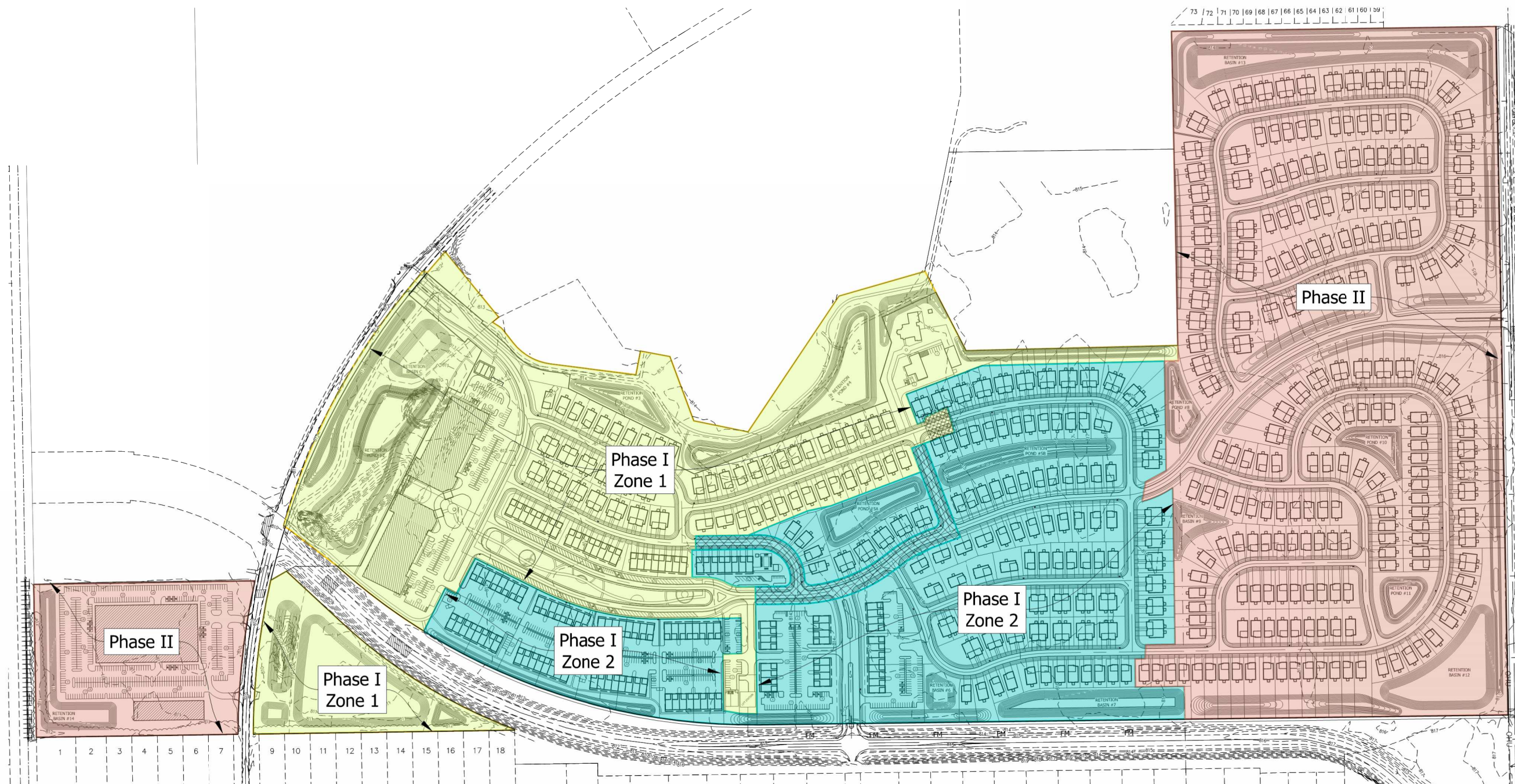
NO.	REVISION DESCRIPTION	BY	DATE

CHERRY CREEK
 WATERFORD MILLS PARKWAY
 REGENT STREET / DIERDORFF ROAD
 GOSHEN, IN 46526

**CHERRY CREEK
 PHASING PLAN**

SHEET TITLE:
 DRAWN BY: KG
 DESIGNED BY: KG
 PM REVIEW: BEM
 QA/QC REVIEW:
 DATE: 09-18-2024
 SEAL:

SIGNATURE:
 DATE:
 SCALE: 1" = 200'
 ACI JOB # 22-1784
 SHEET NO. 1 of 1



- Phase I, Zone 1
- Phase I, Zone 1 (Utilities Only)**
- Phase I, Zone 2
- Phase II

(IN FEET)
 1 inch = 200 ft.

**Underground Water and Sanitary Mains to be constructed with Phase I, Zone 1. All other construction to occur with Phase I, Zone 2.

NO.	REVISION DESCRIPTION	BY	DATE

LEGEND

- Single-Family Residential (Detached and Attached Units)
- Multi-Family: Townhome Style
- Multi-Family: Townhome Style / Mixed Use
- Multi-Family: Townhome Style / Mixed Use (Commercial Kitchens Allowed)
- Multi-Family: Condominium Style / Mixed Use
- Commercial (Showroom and Maintenance Building)
- Public and Quasi-Public Parks and Recreation
- Conditional Use Location
- Utility (Lift Station)
- Accessory Structure

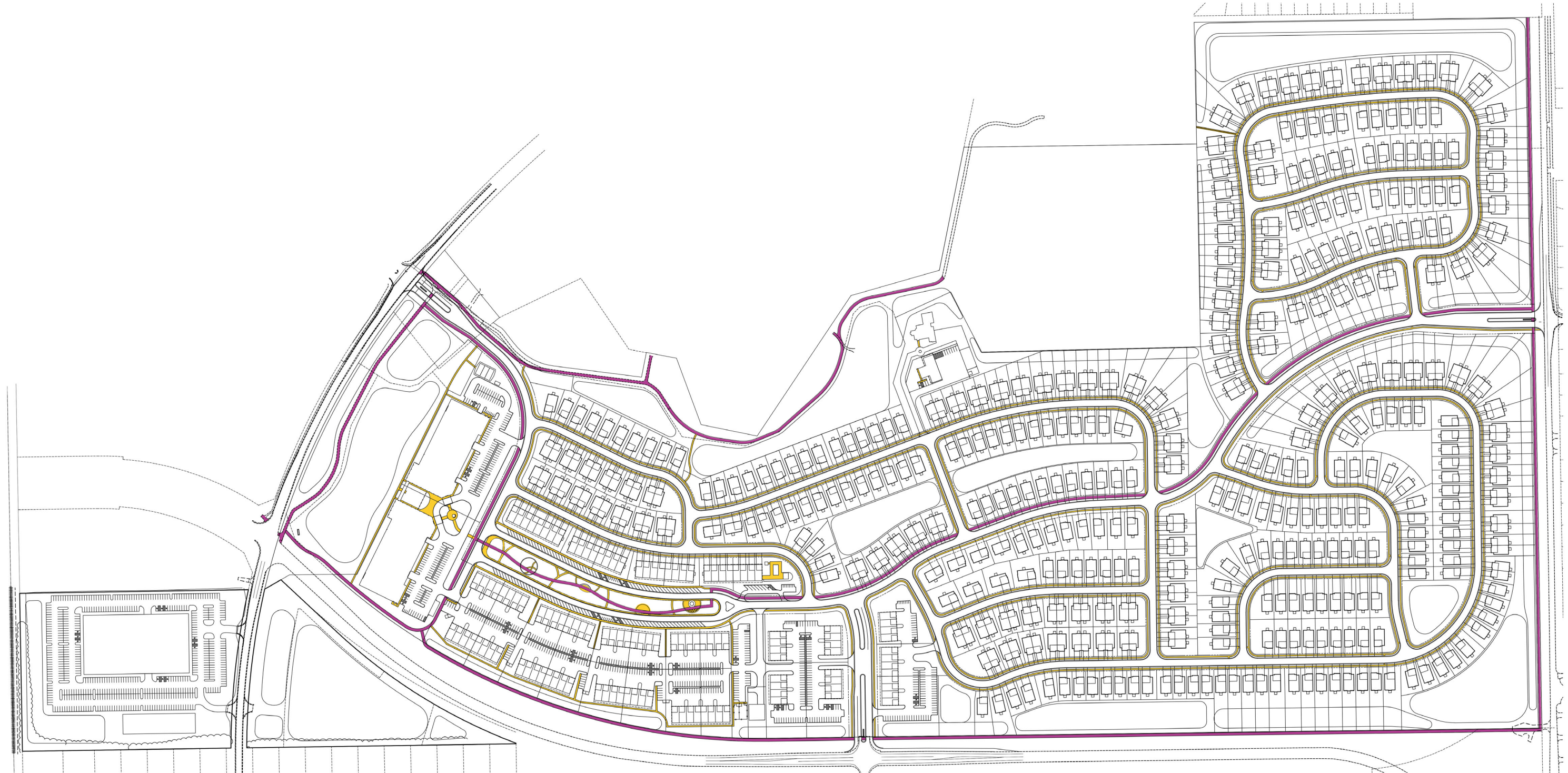
CONDITIONAL USES

- 1 Allow structures for Pickleball / Tennis Courts (Quasi-Public) to be located on the same lot as and within 50 feet of a residential use building.
- 2 Allow Non-Permanent Food Vendors (“food trucks”) on multi-family condominium / mixed use lots in designated areas.
- 3 Allow structures for Community Centers and Childcare Centers to be located on the same lot as and within 50 feet of a residential use building.
- 4 Allow structures for Parks and Playgrounds to be located on the same lot as and within 50 feet of a residential use building.
- 5 Allow structures and equipment for Swimming Pools (Quasi-Public) to be located on the same lot as and within 50 feet of a residential use building.



LEGEND

- 10-foot Biking & Walking Trail
- Sidewalk / Pedestrian Space



To: Goshen City Plan Commission/Goshen Common Council
From: Rhonda L. Yoder, Planning & Zoning Administrator
Subject: 24-02MA, PUD Major Change & PUD Preliminary Site Plan
Cherry Creek PUD
Date: October 15, 2024

ANALYSIS

Cherry Creek, LLC, Waterford Commons Business Park, LLC, City of Goshen, and Abonmarche Consultants request a PUD major change and PUD preliminary site plan approval for changes to Cherry Creek PUD, a mixed use residential/commercial development, zoned Residential R-3PUD (Planned Unit Development). The Cherry Creek PUD is ±235 acres, including adjacent right of way and parcels intended for right of way, generally located west of Dierdorff Road, north of Waterford Mills Parkway, east of Regent Street, and south of Waterford Mills Parkway on both sides of Regent Street. The Cherry Creek PUD major change/PUD preliminary site plan proposes:

- New mixed use townhome style buildings in place of some mixed use condo style buildings, with shared access across multiple lots;
- Conditional Uses of pickleball/tennis courts, community centers, child care centers, parks/playgrounds, and swimming pools located on the same lot as a residential use without screening and with no minimum setback for buildings/structures adjacent to residential use/zoning;
- Non-permanent food vendors (food trucks) allowed in mixed use areas with no Conditional Use permit, only during Cherry Creek approved events, with electrical hookups provided and no generators;
- Bollard style light fixtures added along walkways, trails and in common spaces;
- Entrance signs updated and a new interior freestanding sign added;
- Typical landscaping exhibits added to PUD (no change to standards); and
- Active transportation network updated.

The Cherry Creek PUD was established in December 2023 by Ordinance 5173 (copy of text enclosed). The current request is to amend the original PUD and adopt a new PUD preliminary site plan. The Cherry Creek PUD is a mixed use residential/commercial development with ±180 acres (excluding City of Goshen land and existing right of way), with the current update proposing:

- ±88 acres – single unit residential lots (detached and attached units)
- ±38 acres – mixed use buildings with residential units & commercial space
- ±0.8 acres – maintenance lot
- ±0.3 acres – lift station lot
- ±21 acres – common spaces, including recreation areas and drainage areas
- ±32 acres – right of way (to be dedicated)

When a PUD is developed, it contains specific use and developmental requirements that are in addition to, or in place of, the underlying zoning district requirements. A PUD is always tied to a site plan, with a PUD preliminary site plan adopted when a PUD is established or modified, and a detailed PUD final site plan reviewed as development occurs. Changes to a PUD are defined by the Zoning Ordinance, and may be minor or major. Major changes include those that change use, character or intensity of the development, and those that increase traffic or utility issues, reduce parking, or encroach into required setbacks. Changing stated conditions of a PUD are also typically major changes. PUD major changes and PUD preliminary site plans require review as a public hearing at Plan Commission, with final approval by Council. As a PUD develops, the original PUD conditions remain in place unless specifically changed. A PUD is intended to provide unified development, streamline the review process, and provide flexibility based on specific site conditions.

Items enclosed for reference include *Development Project Overview* (pages 3-12); Exhibit E, typical landscaping; Exhibit G, Active Transportation Network; and Exhibit K, preliminary PUD drawings, Sheets 1-3.

Townhome Lots Shared Access

The current amendment proposes a new, three-story townhome style building with four attached structures and a possible total of 12 units, with each unit on a single story. Some townhomes would be residential only and some are proposed with commercial on the first floor and residential on the second and third floors. Townhomes are proposed in place of six condo buildings in the southwest section of the main development. The townhome use is permitted by the existing Cherry Creek PUD, but the townhome lots propose shared access across multiple lots, which requires approval.

Conditional Uses & Food Trucks

In addition to the uses permitted and prohibited by Ordinance 5173, the current amendment proposes to allow Conditional Uses (CU) of pickleball/tennis courts, community centers, child care centers, parks/playgrounds, and swimming pools located on the same lot as a residential use without screening and with no minimum setback for buildings/structures adjacent to residential use/zoning. CU are uses which are allowed if additional requirements are met, and are reviewed administratively if all requirements are met. This is a reasonable request based on the mixing of commercial and residential uses.

The current amendment also proposes to allow non-permanent food vendors (food trucks) in mixed use areas with no Conditional Use permit, only during Cherry Creek approved events, with electrical hookups provided and no generators. This approval would allow food trucks only at approved events and not general vending. Licensed food vendors would receive a written invitation from Cherry Creek for an event.

Lighting

The current amendment proposes an additional lighting type, with bollard style light fixtures added along walkways, trails and in common spaces.

Signs

The current amendment proposes updates to the entrance signs and a new interior freestanding sign on the plaza near the two condo buildings in the main development, as detailed on pages 8-10 of the *Development Project Overview* document. Signs as proposed are consistent with the existing Cherry Creek PUD.

Landscaping

The current amendment includes typical landscaping in Exhibit E with no change to standards. The typical landscape exhibits will be incorporated into the PUD amendment to provide guidance on general placement. Detailed landscape plans will be required as part of any PUD final site plan. The partial landscaping options approved as part of Ordinance 5173 remain in place.

Sidewalks & Trails

Based on the modified PUD preliminary site plan, an updated Active Transportation Network layout has been provided, Exhibit G, and will replace the exhibit in Ordinance 5173.

PUD Preliminary Site Plan (Exhibit K)

The updated PUD preliminary site plan for Cherry Creek PUD is shown in Exhibit K, and is consistent with the approved Cherry Creek PUD, except as modified by the current major change. PUD preliminary site plan approval is a conceptual site plan approval, and PUD final site plan review, including landscaping and lighting plans, is required as the development progresses. PUD final site plan applications are submitted as part of the City's administrative site plan review, Technical Review, and may be reviewed by Staff on behalf of the Plan Commission. Subdivision review is a separate process.

RECOMMENDATIONS

Staff recommends the Plan Commission forward a favorable recommendation to Goshen Common Council for the PUD major change and PUD preliminary site plan, based upon the following:

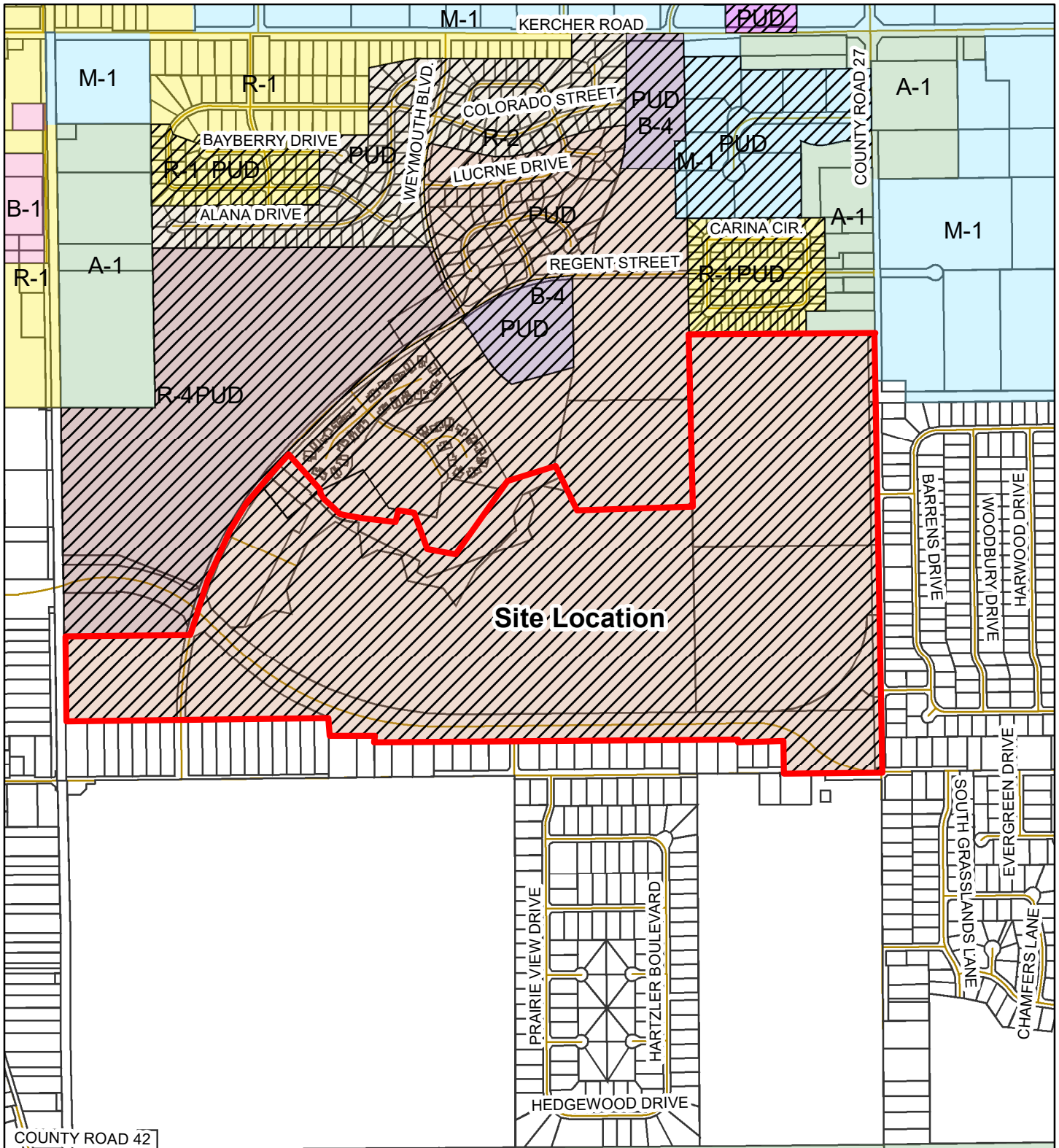
1. The proposed major change and preliminary site plan are consistent with the approved Cherry Creek PUD.

The recommendation includes the following PUD standards for the major change ordinance:

1. The PUD major change approves the following:
 - Shared access across multiple lots for townhome style buildings;
 - Conditional Uses of pickleball/tennis courts, community centers, child care centers, parks/playgrounds, and swimming pools located on the same lot as a residential use without screening and with no minimum setback for buildings/structures adjacent to residential use/zoning;
 - Non-permanent food vendors (food trucks) allowed in mixed use areas with no Conditional Use permit, only during Cherry Creek approved events, with electrical hookups provided and no generators;
 - Bollard style light fixtures added along walkways, trails and in common spaces;
 - Entrance signs updated and a new interior freestanding sign added;
 - Typical landscaping per Exhibit E (no change to existing Cherry Creek standards); and
 - Active Transportation Network updated per Exhibit G.
2. Except as modified by specific PUD conditions, the approved PUD preliminary site plan is *Cherry Creek, Planned Unit Development, Sheets 1-3*, dated 09-18-24, by Abonmarche Consultants, Inc., and for reference the preliminary land use map, dated 9/18/2024.

Review process conditions include:

1. The overall primary subdivision, and the secondary subdivision for each phase, shall be reviewed and approved before development occurs, excluding earth work with an approved permit.
2. A PUD final site plan application, including landscaping and lighting plans, shall be submitted with each subdivision phase, for review by Staff on behalf of Plan Commission. Each PUD final site plan shall be approved prior to a zoning clearance form/building permit being issued.
3. Site plan approval by Goshen Engineering is required for site drainage, post construction, site utilities and right-of-way access, as applicable, before a zoning clearance/building permit is issued.
4. The Goshen Fire Department shall approve the plan for fire protection (including hydrant placement and access) as part of PUD final site plan approval.



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1 inch = 1,000 feet

Cherry Creek Planned Unit Development (PUD)

Zoning Map: R-3PUD
 Printed September 30, 2024


The City of Goshen
 Department of
 Planning & Zoning
 204 East Jefferson Street, Goshen, Indiana 46528
 Phone: 574-534-3600 Fax: 574-533-8626

A SET REBAR WITH CAP STAMPED BRADS-KO 0041; THENCE NORTH 51 DEGREES 06 MINUTES 21 SECONDS EAST, A DISTANCE OF 30.92 FEET TO THE AFOREMENTIONED POINT OF BEGINNING, CONTAINING 2.663 ACRES, MORE OR LESS.

The Cherry Creek PUD includes the following specific PUD standards:

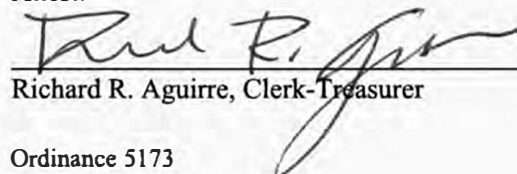
1. Except as modified by specific PUD conditions, the approved PUD preliminary site plan is *Cherry Creek Planned Unit Development, Sheets 1-12*, dated 10-30-2023, by Abonmarche Consultants, Inc., incorporated as Exhibit C.
2. Cherry Creek PUD is a mixed use, residential and commercial development, and permitted and conditional uses will follow the R-3 District and the B-2 District, with the following exceptions:
 - Restaurants with drive-through permitted;
 - Landscaping companies (non-retail) permitted;
 - Bus terminals prohibited;
 - Gas stations prohibited;
 - Land reclamation projects prohibited.
3. Maximum residential unit density will be calculated using the overall Cherry Creek area, including common areas but excluding public right of way.
4. Sidewalks and trails will be installed generally per Exhibit B, Active Transportation Network, with final locations determined during subdivision review. In phase two, the trail along the north property line, adjacent to Villas at Waterford Commons Second, should be relocated south of the berm/landscaping.
5. Minimum parking requirements will be calculated as follows:
 - One vehicle space per 400 square feet of commercial gross floor area;
 - Two bicycle spaces per 10,000 square feet of commercial gross floor area;
 - Stacking spaces for drive through uses per the Zoning Ordinance;
 - No minimum parking for common area uses;
 - Residential parking per the Zoning Ordinance; and
 - On street parking spaces included in total space count for provided parking.
6. Partial landscaping will be implemented with two options, option one following the Zoning Ordinance formula and option two an undulating berm with one evergreen tree for every 25' of applicable lot line, with grouped planting.
7. Maximum building length up to 400' is permitted for mixed use buildings.
8. Signs will generally follow the PUD sign plan in Exhibits A and A-1. Signs for phase two mixed-use buildings will follow signs as proposed for the phase one mixed use buildings. Changes to the sign plan shall be reviewed by the Plan Commission as a minor change.
9. For mixed use buildings, lighting shall be directed down and away from adjacent residential properties, and shall minimize illumination, glare or reflection onto adjacent residential properties, with a lighting plan required as part of the PUD final site plan submittal.
10. Lot size, lot width, building height, building coverage and setbacks are not subject to specific standards, but provided lot size, lot width, setbacks and building coverage must ensure adequate space to meet all developmental requirements, such as landscaping and parking, and to maintain access for all services (fire protection, utilities, mail delivery, trash collection, for example).

PASSED by the Common Council of the City of Goshen on Dec 4, 2023.



Presiding Officer

Attest:



Richard R. Aguirre, Clerk-Treasurer

DEVELOPMENT PROJECT OVERVIEW

UPDATE/REWRITE: List of Amenities

Amenities planned at this time include pickleball courts, dog park, neighborhood swimming pool, community center, park and recreations spaces, a pavilion and large open space, wide walking and biking path connected to the city trail to get downtown, numerous ponds with fountains, fitness center, childcare, retail, bank, and restaurants.

UPDATE: LAND USE SUMMARY

Acreage by Land Use	
Single-Family Residential Lots	88 Acres +/- (43%)
Multi-Family Mixed Use Lots	38 Acres +/- (18%)
Commercial (Showroom and Maintenance Lot)	0.8 Acre +/- (0.4%)
Utility / Lift Station	0.3 Acre +/- (0.2%)
Common Spaces (Cherry Creek)	21 Acres +/- (10%)
Owned by City of Goshen	24 Acres +/- (12%)
Right of Way	33 Acres +/- (16%)
Total	204 Acres +/- (100%)

UPDATE/NEW:

Residential Units by Building Type	
Single-Family	487 Units
Single-Family Detached	255 Units
Single-Family Attached	232 Units
Multi-Family	731 units
Townhome Style	96 Units
Townhome Style / Mixed Use	184 Units
Condominium Style / Mixed Use	451 Units
Total Residential Units	1,218 Units
Residential Density (Calculated using the overall Cherry Creek area, including Common Spaces, but excluding public right-of-way.)	8 Units per Acre

UPDATE/NEW: A mix of commercial uses are anticipated to be located on the first floors of the Townhome Style and Condominium Style mixed-use buildings.

Commercial Space	
Townhome Style / Mixed Use	81,903 Square Feet
Condominium Style / Mixed Use	76,771 Square Feet
Total	158,674 Square Feet

NEW: CONDITIONAL USES

Cherry Creek will allow structures for the following proposed conditional uses to be located on the same lot as and within 50 feet of a residential use building.

- Pickleball / Tennis Courts (Quasi-Public)
- Community Centers and Childcare Centers
- Parks and Playgrounds (including Dog Park)
- Swimming Pools (Quasi-Public)

The development will also allow Non-Permanent Food Vendors (“food trucks”) on multi-family condominium / mixed use lots. Food trucks will be allowed only in designated areas of the parking lots next to the condominium / mixed use buildings on Lots 1 and 2 and only during Cherry Creek-approved events. The maximum number of food trucks during any one event is 10. Electrical hook-ups will be provided, eliminating the need for individual generators.

See map on the following page for proposed land use and conditional use locations.

Cherry Creek PUD - Land Use and Conditional Use Map

LEGEND

- Single-Family Residential (Detached and Attached Units)
- Multi-Family: Townhome Style
- Multi-Family: Townhome Style / Mixed Use
- Multi-Family: Townhome Style / Mixed Use (Commercial Kitchens Allowed)
- Multi-Family: Condominium Style / Mixed Use
- Commercial (Showroom and Maintenance Building)
- Public and Quasi-Public Parks and Recreation
- Conditional Use Location
- Utility (Lift Station)
- Accessory Structure

CONDITIONAL USES

- 1 Allow structures for Pickleball / Tennis Courts (Quasi-Public) to be located on the same lot as and within 50 feet of a residential use building.
- 2 Allow Non-Permanent Food Vendors ("food trucks") on multi-family condominium / mixed use lots in designated areas.
- 3 Allow structures for Community Centers and Childcare Centers to be located on the same lot as and within 50 feet of a residential use building.
- 4 Allow structures for Parks and Playgrounds to be located on the same lot as and within 50 feet of a residential use building.
- 5 Allow structures and equipment for Swimming Pools (Quasi-Public) to be located on the same lot as and within 50 feet of a residential use building.



EASEMENTS

UPDATE/REWRITE:

- Stormwater drainage easements granted by the City of Goshen for benefit to Cherry Creek LLC to construct and maintain retention ponds and basins on City owned property for the proposed project as outlined in the approved development agreement.
- Stormwater drainage easements within proposed Lots and Common Spaces containing retention in Cherry Creek PUD granted by Cherry Creek LLC for benefit to the City of Goshen to maintain storm sewer discharge pipes.
- Access and maintenance easements granted by the City of Goshen for benefit to Cherry Creek LLC on City owned property included in the Cherry Creek PUD as outlined in the approved development agreement.
- Access, drainage, landscape, and maintenance easements established across individual lots within the Cherry Creek subdivision plat for Cherry Creek LLC to construct and maintain stormwater management systems, landscaping and mounding, and to perform general maintenance.
- Access easements granted by Cherry Creek LLC for benefit to the City of Goshen and public for non-dedicated trails in Cherry Creek.
- Utility easements adjacent to public right-of-way where specified on the subdivision plat.

NEW:

- Sanitary sewer easement from Cherry Creek LLC to City of Goshen.
- Access easement from Cherry Creek LLC to City of Goshen to access lift station on lot 94.
- Access and utility easement across Lots 54 and 55 for shared drive.
- Blanket Easement for Shared Access, Parking, Drainage, Sanitary Sewer, and Water Service for lots 1&2, 78-93, 95-98, and 99&100.
- Blanket Access Easement for public use of parking, driving aisles, and public and quasi-public parks and recreation areas identified on the PUD Land Use and Conditional Use Map.

UPDATE: PROJECT PHASING

Proposed Mix Phase 1:	
Single-Family Detached	Up to 110 Units, including single-family residence
Single-Family Attached	Up to 110 Units
Multi-Family, Townhome Style	Up to 100 Units
Multi-Family, Townhome Style / Mixed Use	Up to 190 Units and 82,000 square feet commercial space
Multi-Family, Condominium Style / Mixed Use	Up to 170 Units (in 2 buildings) and 77,000 square feet commercial space
Showroom and Maintenance Lot	1 Showroom (1,280 square feet) with attached Maintenance Barn (4,000 square feet)

Proposed Mix Phase 2:	
Single-Family Detached	Up to 160 Units
Single-Family Attached	Up to 135 Units
Multi-Family, Condominium Style / Mixed Use	Up to 290 Units (in 2 buildings) and 50,000 square feet commercial space

UPDATE/REWRITE: ALLOWABLE USES ON COMMON SPACES AND MIXED USE LOTS

Amenities planned at this time include pickleball courts, dog park, neighborhood swimming pool, community center, park and recreations spaces, a pavilion and large open space, wide walking and biking path connected to the city trail to get downtown, numerous ponds with fountains, fitness center, childcare, retail, bank, and restaurants.

UPDATE: PARKING SUMMARY

Proposed Number of Parking Spaces	Includes ADA Spaces
SF Garages	974
MF Garages (Townhome Style)	248
MF Garages (Condominium Style)	178
Mixed Use Lots	1,179
On-Street	49
Showroom and Maintenance Lot	4
	1
Total	2,700
	54

UPDATE: Car parking required based on Cherry Creek standards is 2,634.

NEW: Cherry Creek will provide parking spaces for golf carts, located strategically near amenities, services, and retail. The standard size of these spaces will be 8 feet by 10 feet.

NEW: Parking spaces will be provided for horse and buggy use. All horse and buggy parking spaces will meet City of Goshen standards, and the design details will be provided with the construction plans and maintenance will be address in the PSSMP.

LIGHTING

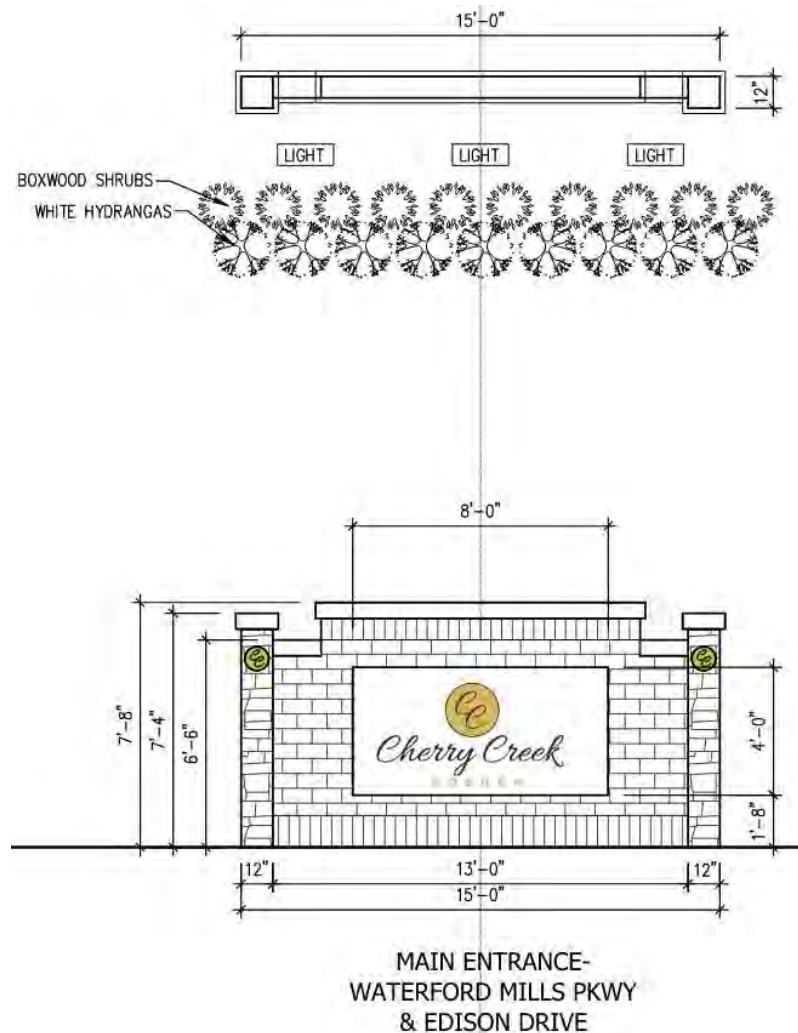
PRIVATE LIGHTING

NEW: Bollard-style light fixtures designed for pedestrians will be allowed along walkways and trails in the Common Spaces of Cherry Creek.

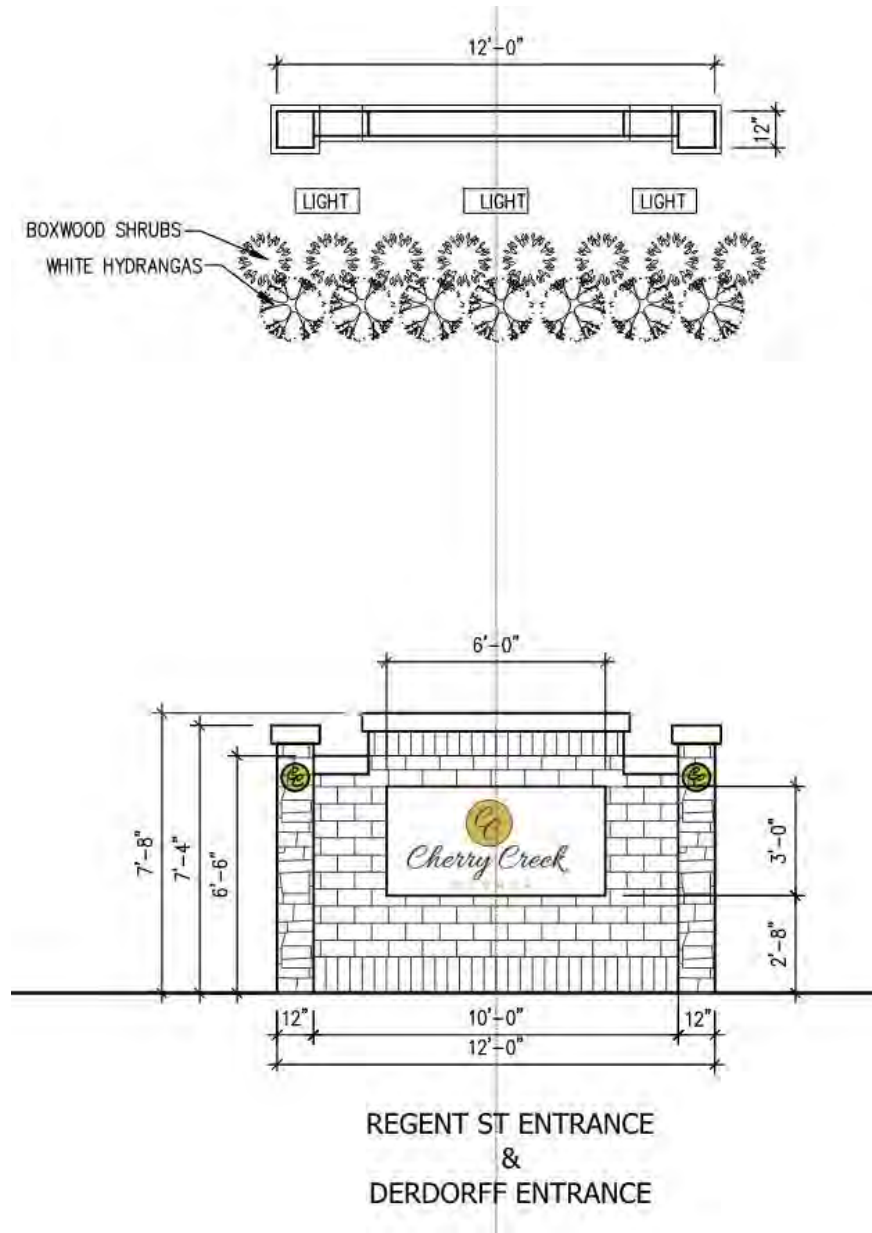
Outdoor centralized mailbox units may be illuminated by light fixtures located under the shelter roof such that light does not impact adjacent residential uses. One freestanding light will also be allowed adjacent to the mailbox structure to provide additional illumination.

SIGNAGE

UPDATE: Prototype for Main Entrance Sign (F-1)



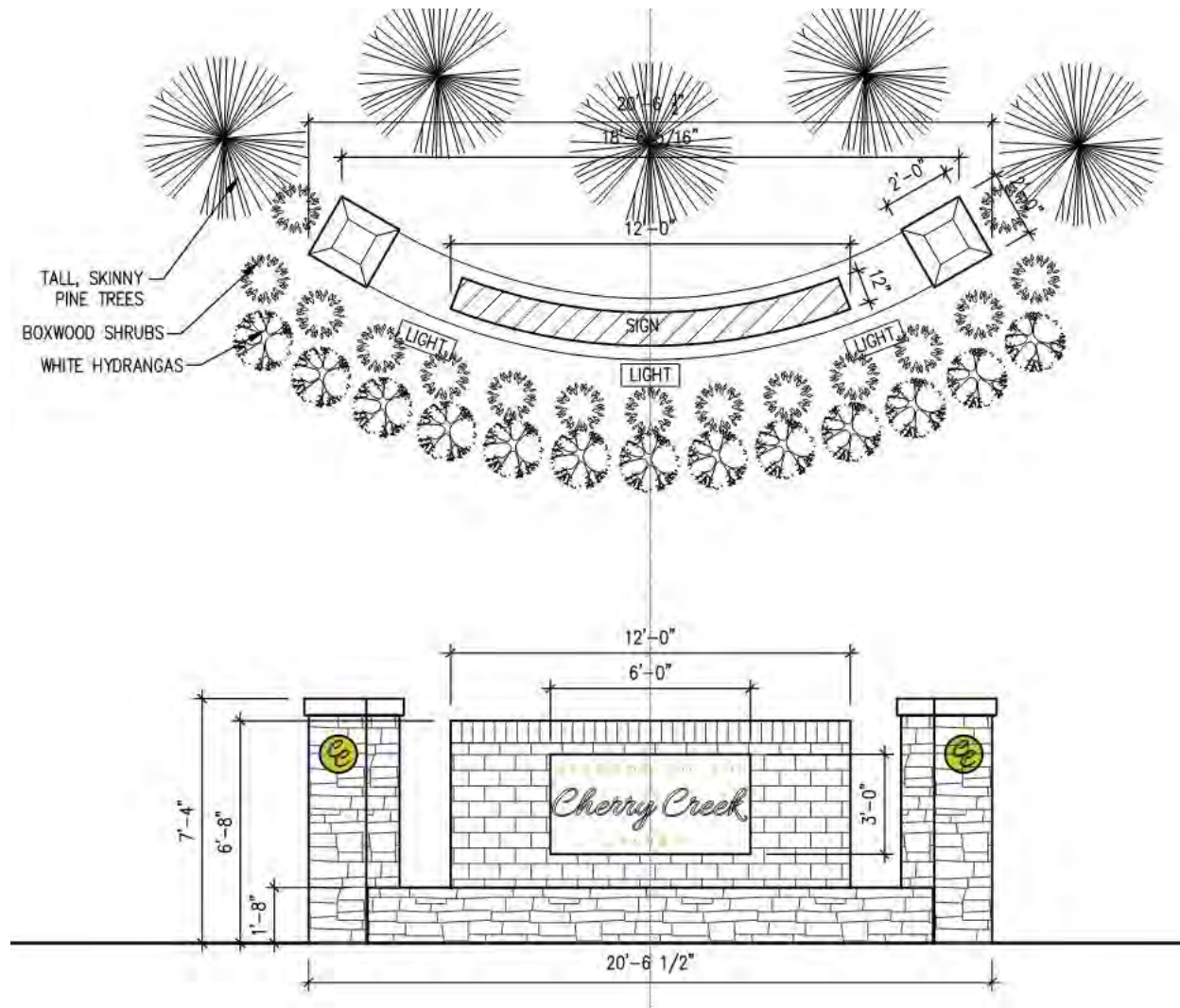
UPDATE: Prototype for Secondary Entrance Signs (F-2)



NEW: F-5 MONUMENT-STYLE, FREESTANDING SIGN – CHERRY CREEK PLAZA

One monument-style, freestanding sign will be installed within a landscaped plaza by the two main condominium buildings, facing Cherry Creek Lane. The sign face is proposed to be 3 feet high and 6 feet wide, up to 18 square feet. The sign will follow City of Goshen requirements for landscaping around a freestanding sign and will have exterior illumination from spotlights that will be focused directly on the sign face. Proposed location for this sign is shown on the Site Plan (Exhibit K).

Prototype for Cherry Creek Plaza Sign (F-5)



LANDSCAPE

UPDATE/REWRITE: STREETSIDE TREE CALCULATIONS

Using the standard of 1 canopy tree per 40 feet of street frontage less and excepting the width of access drives, up to a maximum of 24 feet in width, it was calculated that 1,026 trees were needed for this project (including street trees on Waterford Mills Parkway and Dierdorff Road). As described in the single-family sections above, we have requested 1 canopy tree per unit to meet the streetside requirement. This request is based on the determination that due to the proximity of driveways, potential conflicts with underground utilities, and limited planting space, it may not be practical or beneficial for the health of the tree to plant a tree every 40 feet in the tree lawn in these sections of the development. If the requested planting ratio creates an overall deficit of trees for the project, we propose to plant the required additional trees in landscaped areas throughout the development or as additional streetside trees in the right-of-way. This solution will ensure that the total number of trees in the project meets the city standard but in a manner that reduces potential conflicts.

The 1 canopy tree per 40 feet of street frontage less and excepting the width of access drives, up to a maximum of 24 feet in width has not changed from the original submission.

SINGLE-FAMILY RESIDENTIAL DEVELOPMENT STANDARDS

UPDATE/REWRITE: MAIL DELIVERY

Mail to single-family residences will be delivered to a central mailbox unit. The proposed unit for Phase 1 single-family residences is approximately 4 feet deep, 10 feet wide, and 6 feet tall. The unit is proposed to be enclosed within a 3-sided structure with a roof. The proposed location of the mailbox unit is to the east of the pickleball courts on Lot 1. This location was selected for ease and safety of access by both vehicular and pedestrian traffic. The location and construction specifications will need to be approved by the US Postal Service before secondary plat approval.

MIXED-USE AND MULTI-FAMILY DEVELOPMENT STANDARDS

NEW: TYPICAL CONSTRUCTION SPECIFICATIONS

Cherry Creek will offer multi-family residential uses in three building types:

- Townhome Style will be 3-story buildings with residential units on all 3 stories. Each unit will be on a single story. The first-story units will be 1-bedroom units. All other units will be 3-bedroom units.
- Townhome Style / Mixed Use will be 3-story buildings with residential units on the top 2 stories and commercial space on the first story. Each unit will be on a single story. All residential units will be 3-bedroom units.
- Condominium Style / Mixed Use will be 4-story buildings with commercial uses on the first story and a mix of 1-, 2-, and 3-bedroom units on the top 3 stories.

The ownership structure of the multi-family residential units has not been finalized but will likely be a mix of both owner-occupied and renter-occupied units.

PARKING

NEW: Some multi-family residential buildings will include partial parking allotment in an interior parking garage. Each Townhome Style building (either with or without mixed use) will include 2 parking spaces on the first floor, one for each unit on the second and third story. Condominiums on Lots 1 and 2 will have up to 100 parking spaces each on the first floor of the building reserved for tenants.

UPDATE/REWRITE: MAIL DELIVERY

Mail will be delivered to a common mail area inside each mixed use or multi-family building.

MAINTENANCE LOT DEVELOPMENT STANDARDS

UPDATE/REWRITE: MAIL DELIVERY

Mail to the Showroom Office and Maintenance Building will be delivered to a central mailbox unit, shared with single-family residences.

NEW: ACCESS EASEMENT

Access to the lot will be maintained via a shared access easement with the adjacent single-family residential lot.

303 River Race Drive, Unit 206
 Goshen, IN 46526
 T 574.533.9913
 F 574.533.9911
 abonmarche.com

Benton Harbor
 Portage
 Grand Haven
 Fort Wayne
 Goshen
 Hobart
 Lafayette
 South Bend
 Valparaiso
 Engineering · Architecture · Land Surveying

CONDOMINIUM STYLE / MIXED USE MULTIFAMILY LANDSCAPE

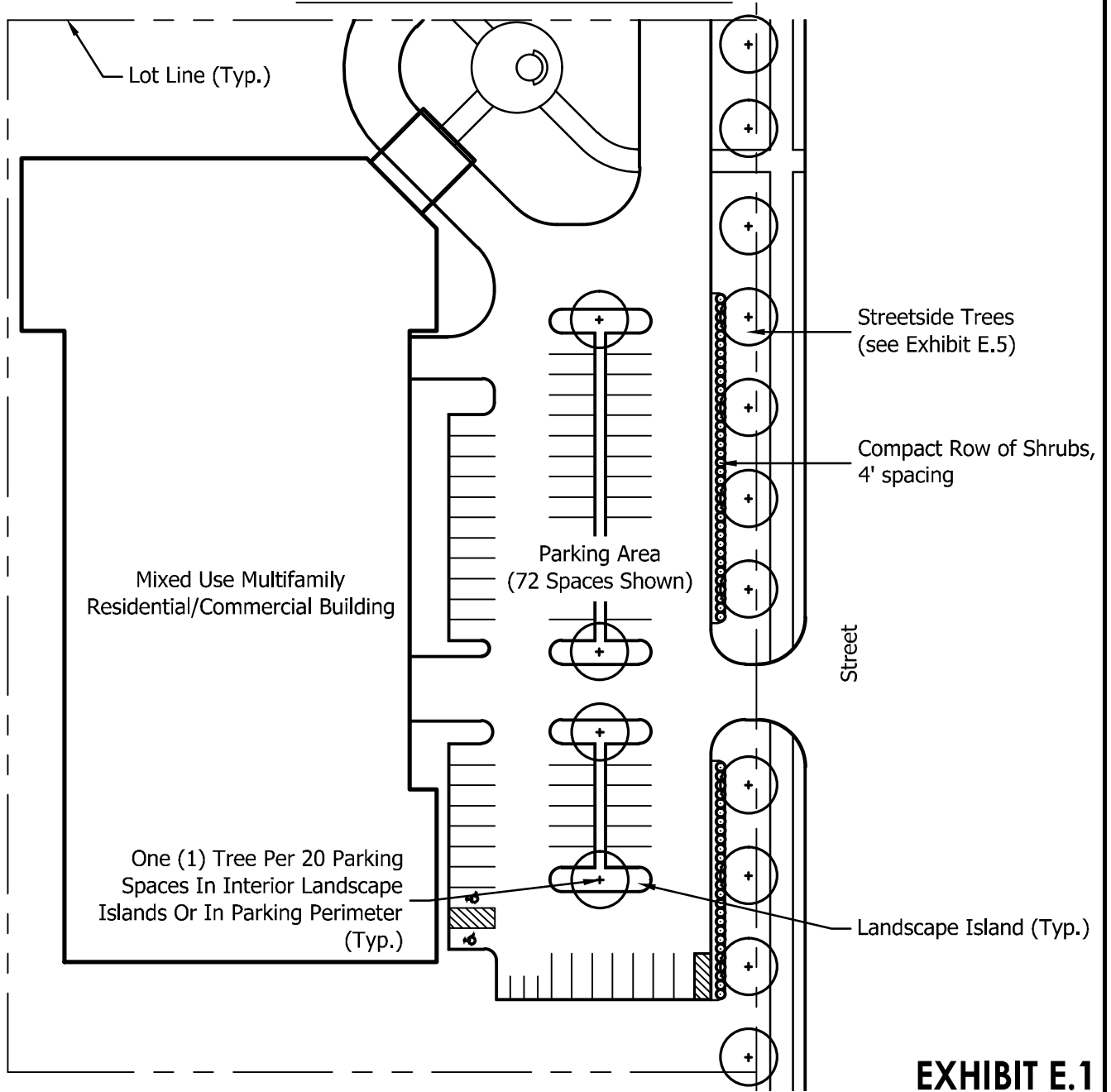


EXHIBIT E.1

PROJECT: CHERRY CREEK WATERFORD COMMONS

PROJECT LOCATION:
 S 1/2 SEC. 27-T36N-R6E, CITY OF GOSHEN, ELKHART
 TOWNSHIP, ELKHART COUNTY, INDIANA

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DATE OF FIELDWORK: N/A

FIELDBOOK: N/A

REVIEWED BY: BEM

SCALE: NOT TO SCALE

DATE: 09/18/2024

DRAWN BY: TR

SECTION: 27-T36N-R6E

SHEET 1 OF 1

JOB NO. 22-1784

TOWNHOUSE STYLE / MIXED USED MULTIFAMILY LANDSCAPE

Street

Streetside Trees
 (see Exhibit E.5)

Lot Line (Typ.)

One (1) Tree Per 20
 Parking Spaces In
 Interior Landscape
 Islands Or In Parking
 Perimeter (Typ.)

Landscape Island
 (Typ.)

Street

Multifamily
 Residential Building

Parking Area
 (78 Spaces Shown)

Multifamily
 Residential Building

EXHIBIT E.2

PROJECT: CHERRY CREEK WATERFORD COMMONS

PROJECT LOCATION:
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SCALE: NOT TO SCALE

DATE: 09/18/2024

DRAWN BY: TR

SECTION: 27-T36N-R6E

SHEET 1 OF 1

JOB NO. 22-1784

SINGLE FAMILY ATTACHED RESIDENTIAL LANDSCAPE

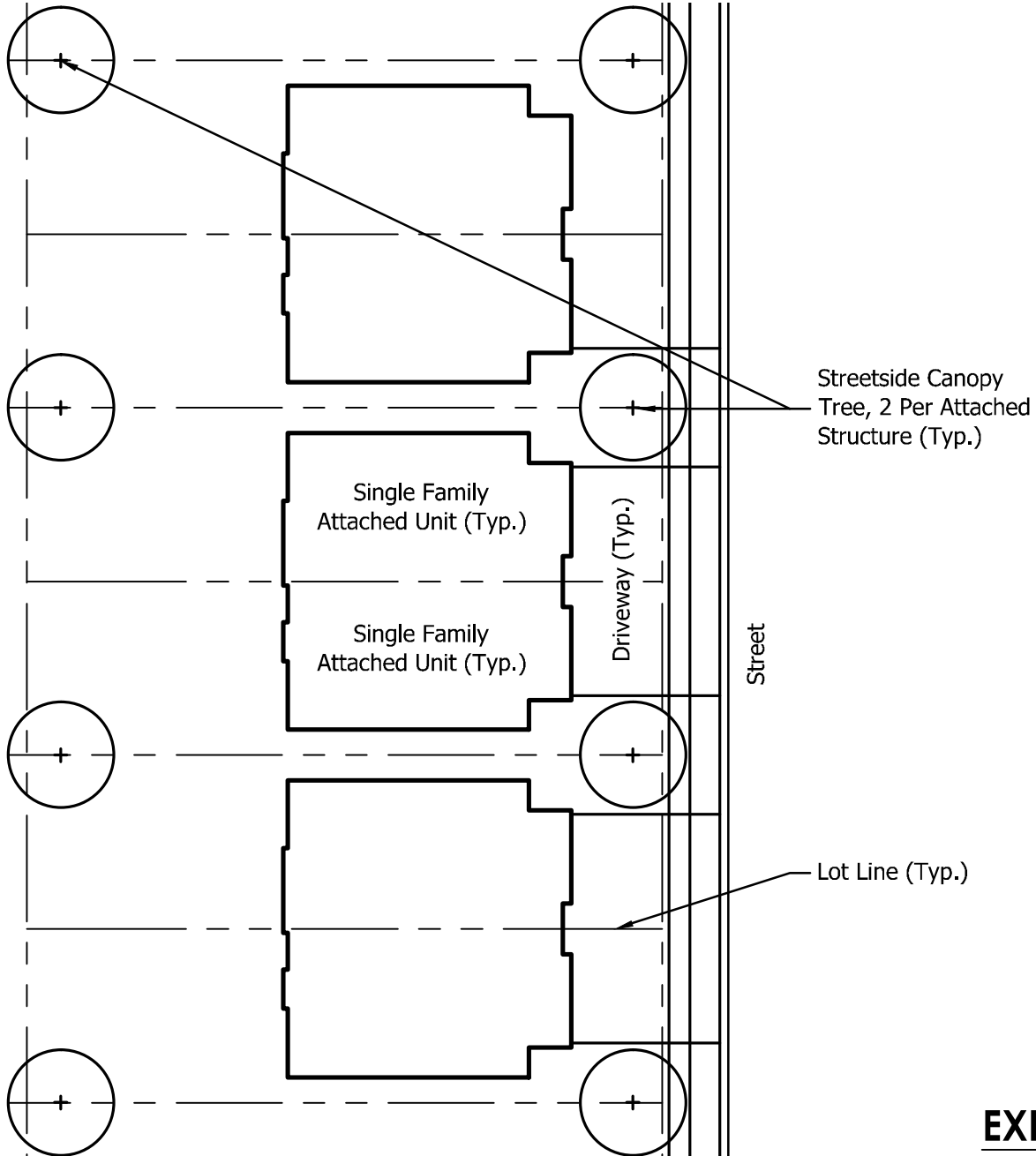


EXHIBIT E.3

PROJECT: CHERRY CREEK WATERFORD COMMONS

PROJECT LOCATION:
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 TOWNSHIP, ELKHART COUNTY, INDIANA

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DATE OF FIELDWORK: N/A

FIELDBOOK: N/A

REVIEWED BY: BEM

SCALE: 1"=40'

DATE: 09/18/2024

DRAWN BY: TR

SECTION: 27-T36N-R6E

SHEET 1 OF 1

JOB NO. 22-1784

SINGLE FAMILY DETACHED RESIDENTIAL LANDSCAPE

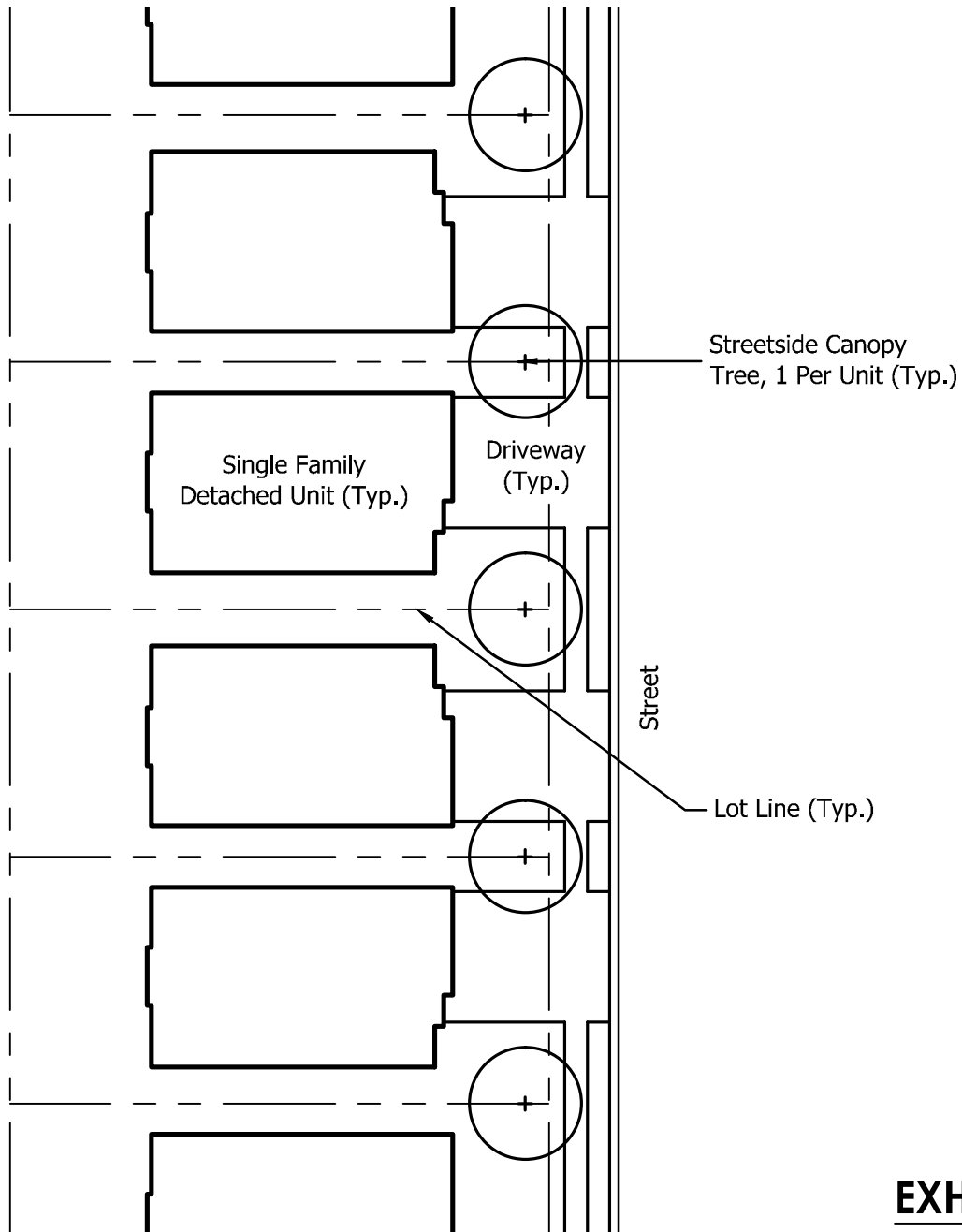


EXHIBIT E.4

PROJECT: CHERRY CREEK WATERFORD COMMONS

PROJECT LOCATION:
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DATE OF FIELDWORK: N/A

FIELDBOOK: N/A

REVIEWED BY: BEM

SCALE: 1"=40'

DATE: 09/18/2024

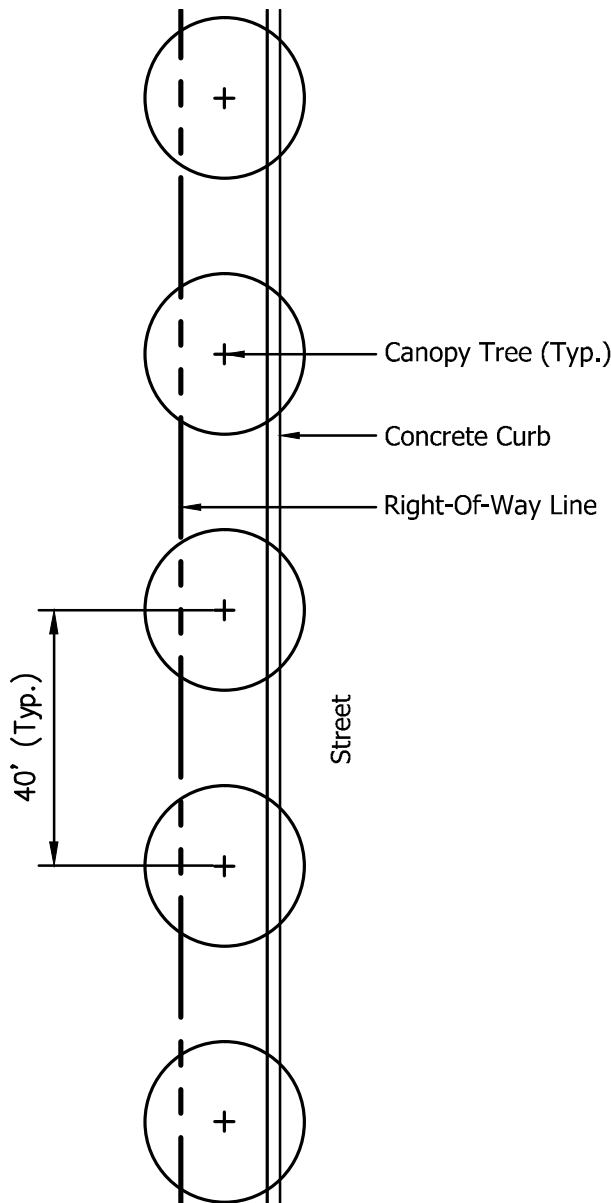
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SECTION: 27-T36N-R6E

SHEET 1 OF 1

JOB NO. 22-1784

TYPICAL STREETSIDE TREE PLANTING - CANOPY TREES



TYPICAL STREETSIDE TREE PLANTING - ORNAMENTAL TREES

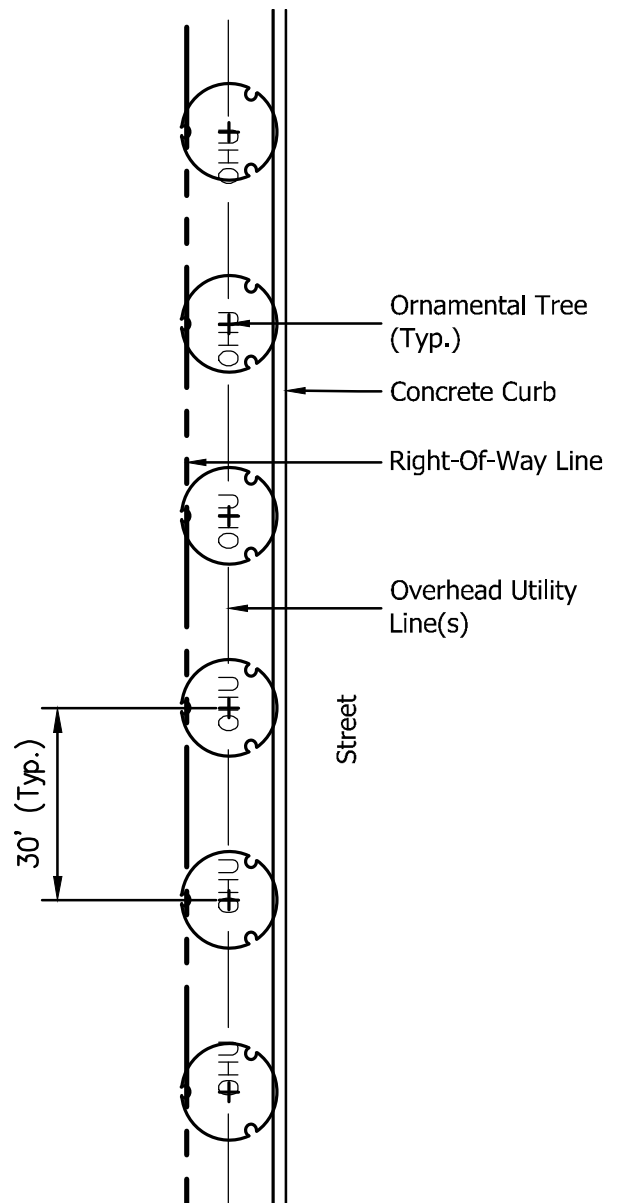


EXHIBIT E.5

PROJECT: CHERRY CREEK WATERFORD COMMONS

PROJECT LOCATION:
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 TOWNSHIP, ELKHART COUNTY, INDIANA

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DATE OF FIELDWORK: N/A

FIELDBOOK: N/A

REVIEWED BY: BEM

SCALE: 1" = 30'

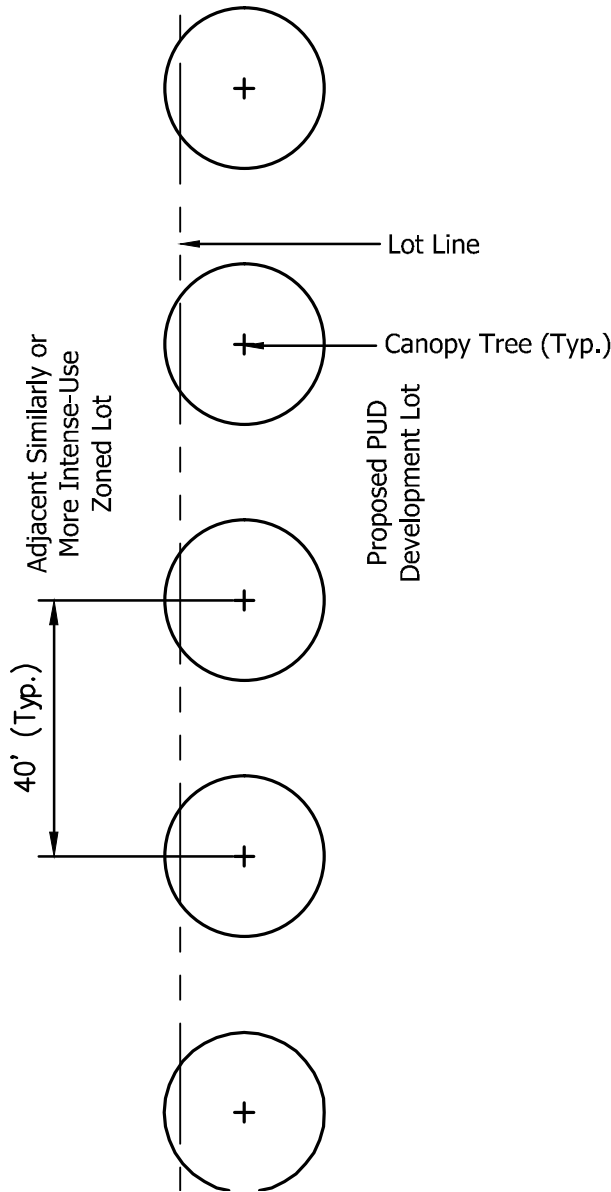
DATE: 09/18/2024

DRAWN BY: TRR

SECTION: 27-T36N-R6E

SHEET 1 OF 1

BUFFERYARD LANDSCAPING - OPEN LANDSCAPING WITH CANOPY TREES



BUFFERYARD LANDSCAPING - OPEN LANDSCAPING WITH ORNAMENTAL TREES

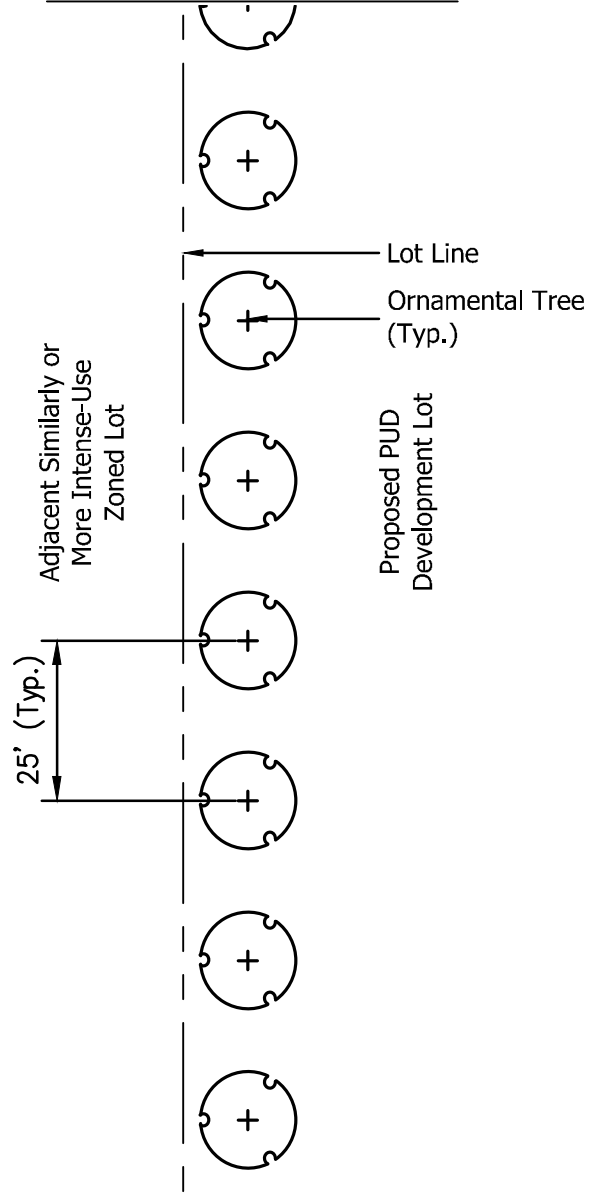


EXHIBIT E.6

PROJECT: CHERRY CREEK WATERFORD COMMONS

PROJECT LOCATION:
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 TOWNSHIP, ELKHART COUNTY, INDIANA

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DATE OF FIELDWORK: N/A

FIELDBOOK: N/A

REVIEWED BY: BEM

SCALE: 1" = 30'

DATE: 09/18/2024

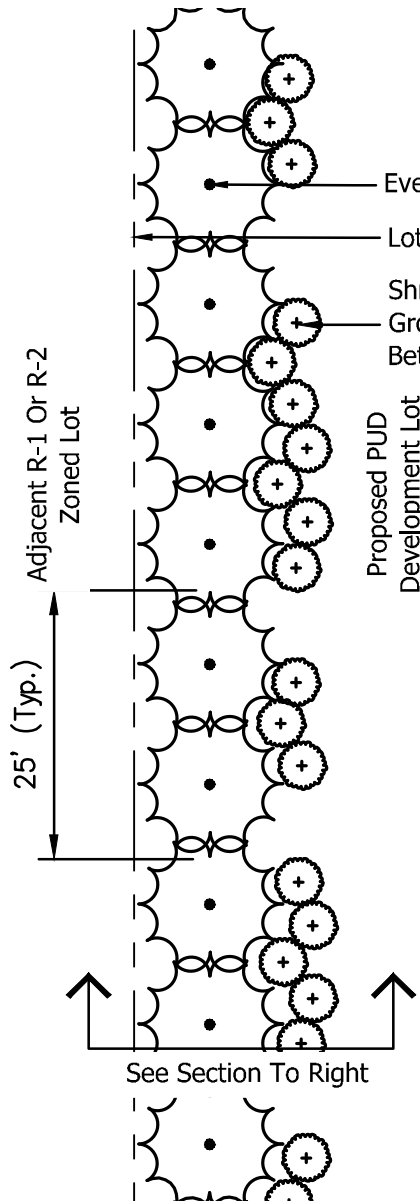
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SECTION: 27-T36N-R6E

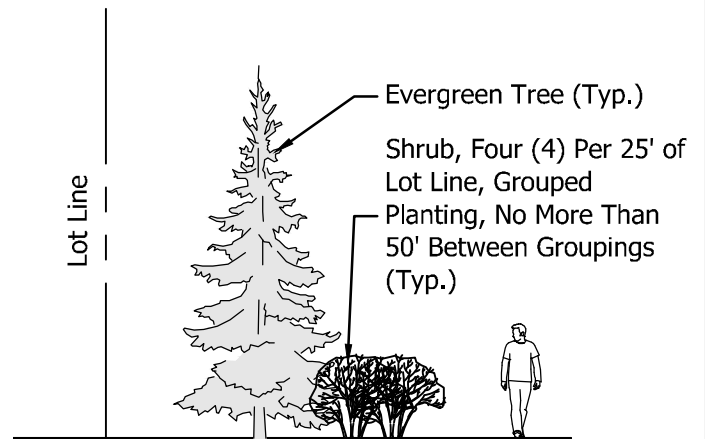
SHEET 1 OF 1

JOB NO. 22-1784

BUFFERYARD LANDSCAPING - PARTIAL LANDSCAPING OPTION 1



PLAN



SECTION

EXHIBIT E.7

PROJECT: CHERRY CREEK WATERFORD COMMONS

PROJECT LOCATION:
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 TOWNSHIP, ELKHART COUNTY, INDIANA

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DATE OF FIELDWORK: N/A

FIELDBOOK: N/A

REVIEWED BY: BEM

SCALE: 1" = 20'

DATE: 09/18/2024

DRAWN BY: TR

SECTION: 27-T36N-R6E

SHEET 1 OF 1

JOB NO. 22-1784

BUFFERYARD LANDSCAPING - PARTIAL LANDSCAPING OPTION 2

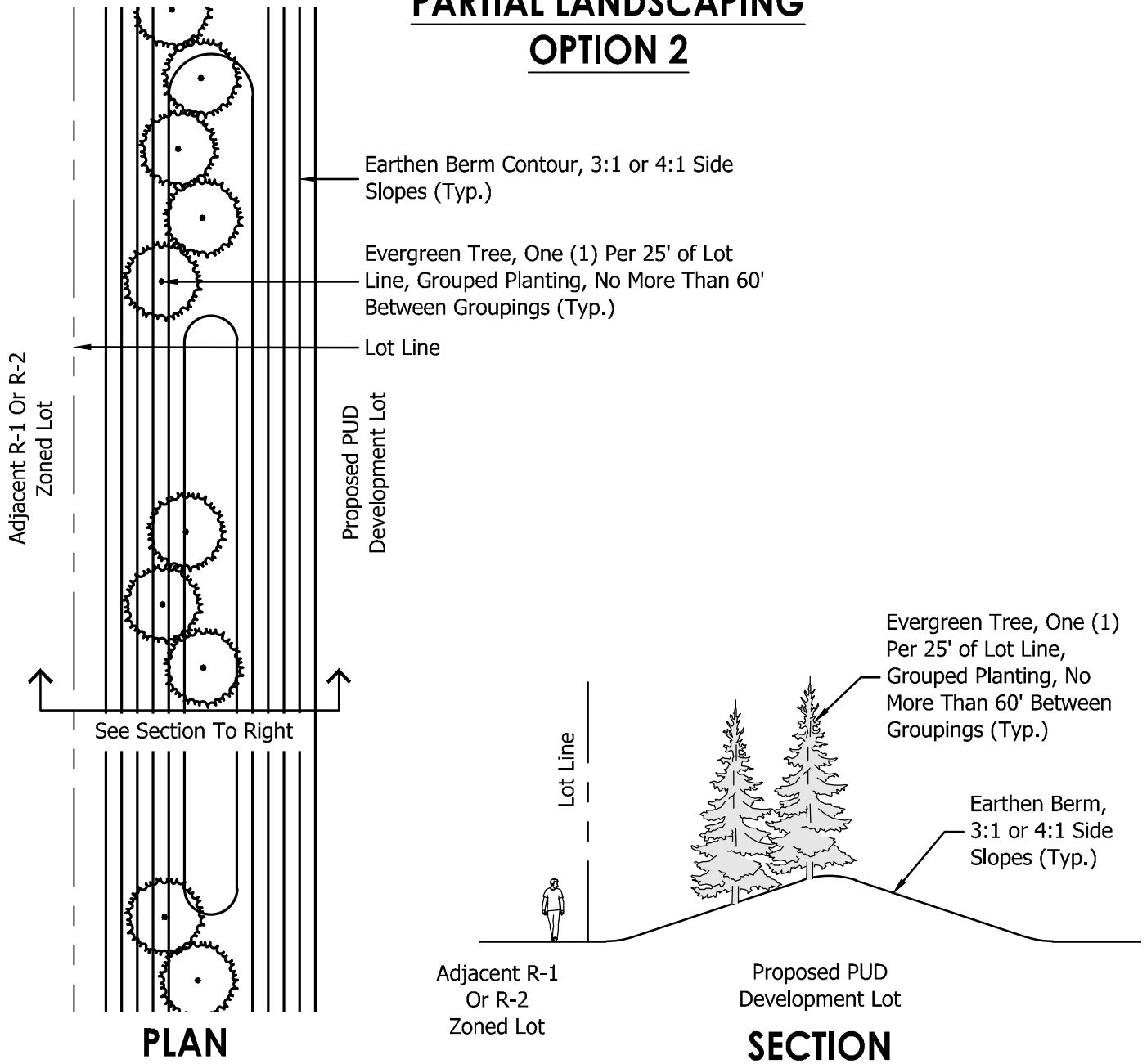


EXHIBIT E.8

PROJECT: CHERRY CREEK WATERFORD COMMONS

PROJECT LOCATION:
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 TOWNSHIP, ELKHART COUNTY, INDIANA

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DATE OF FIELDWORK: N/A

FIELDBOOK: N/A

REVIEWED BY: BEM

SCALE: 1" = 30'

DATE: 09/18/2024

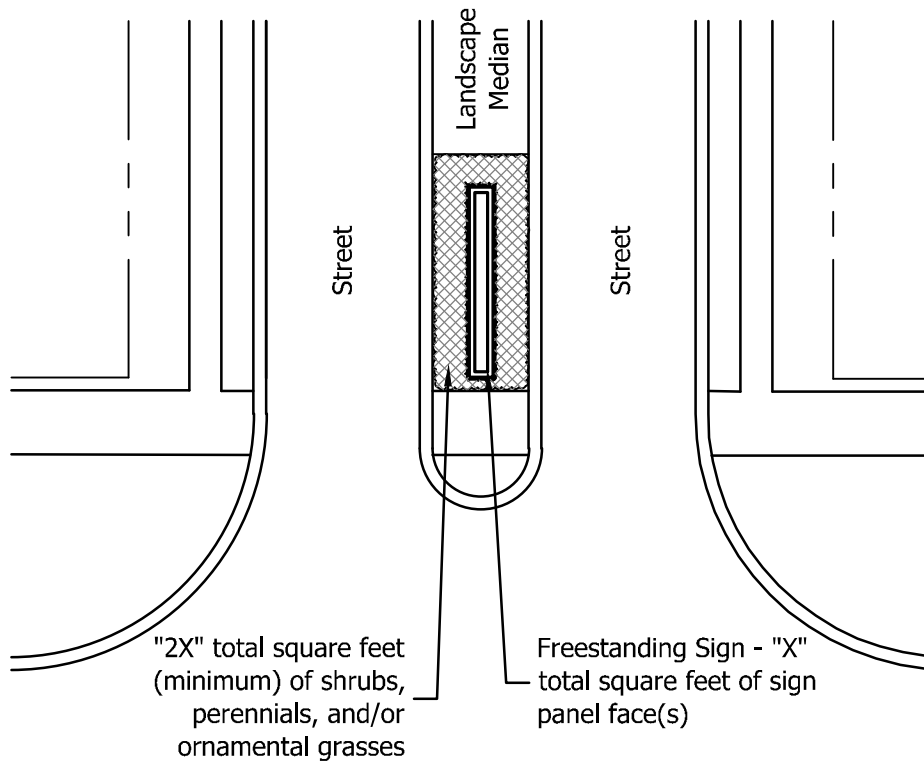
DRAWN BY: TR

SECTION: 27-T36N-R6E

SHEET 1 OF 1

JOB NO. 22-1784

SIGNAGE LANDSCAPING



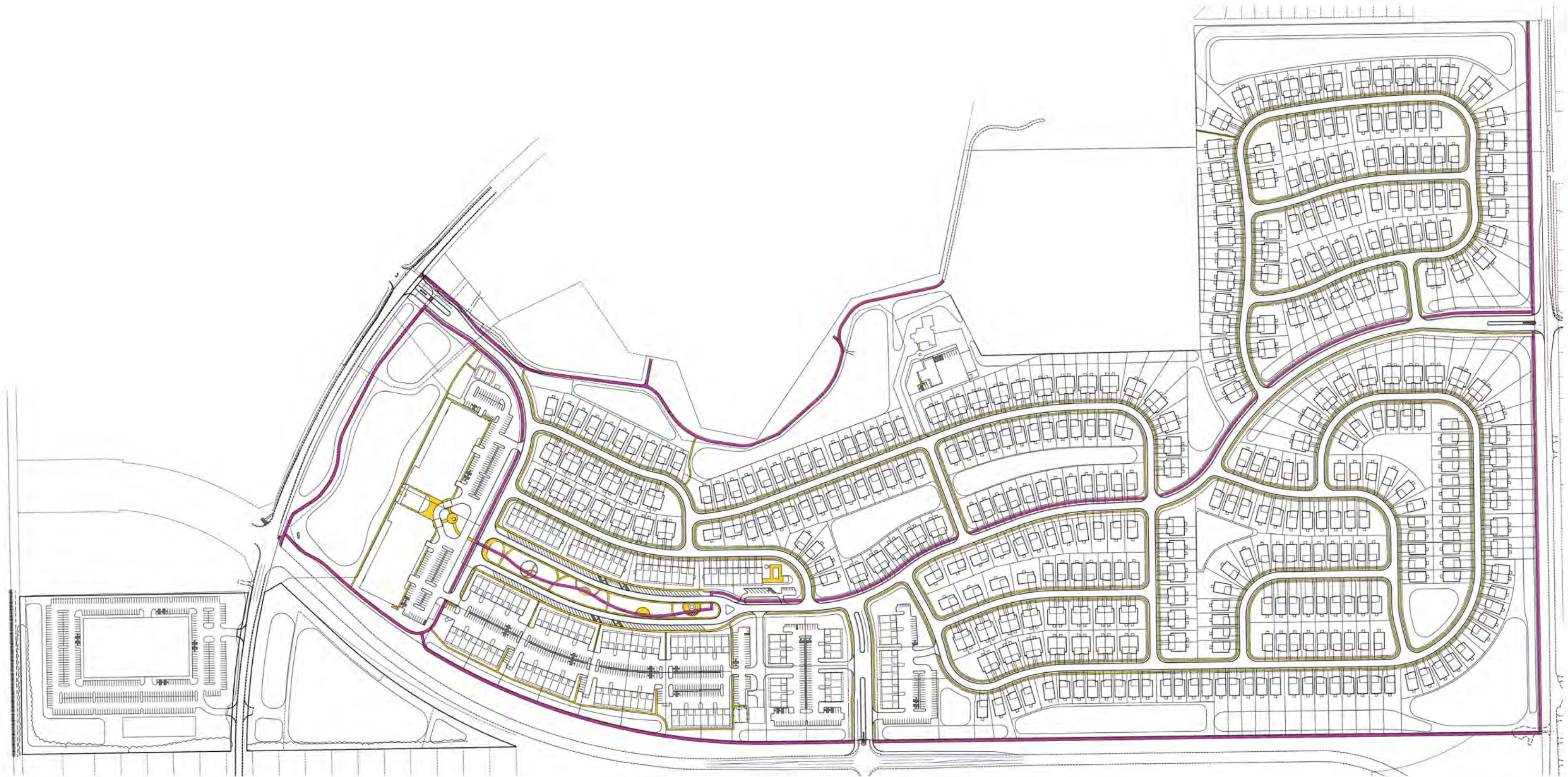
Note: Sign locations and orientation vary throughout the site.
 Signs located outside of medians shall still provide a minimum landscape area equal to 2X the total square footage of the respective sign panel face(s).

EXHIBIT E.9

PROJECT: CHERRY CREEK WATERFORD COMMONS PROJECT LOCATION: S 1/2 SEC. 27-T36N-R6E, CITY OF GOSHEN, ELKHART TOWNSHIP, ELKHART COUNTY, INDIANA COPYRIGHT 2024 - ABONMARCHE CONSULTANTS, INC.	DATE OF FIELDWORK: N/A	DATE: 09/18/2024
	FIELDBOOK: N/A	DRAWN BY: TR
	REVIEWED BY: BEM	SECTION: 27-T36N-R6E
	SCALE: 1" = 30'	SHEET 1 OF 1

LEGEND

- 10-foot Biking & Walking Trail
- Sidewalk / Pedestrian Space



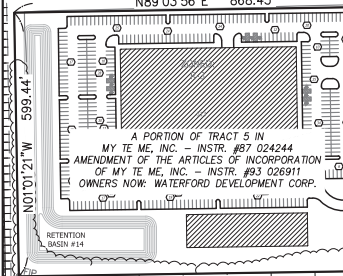
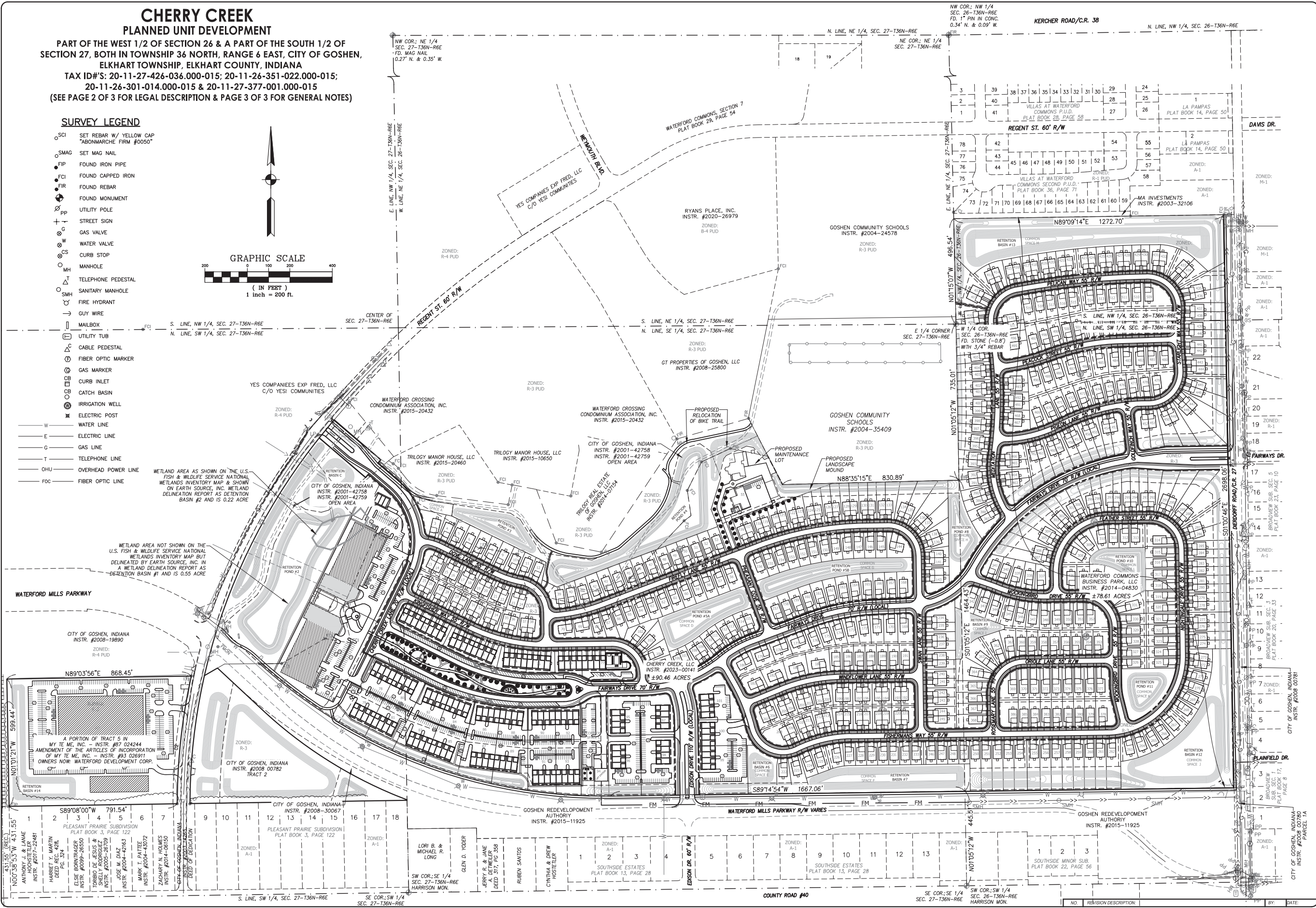
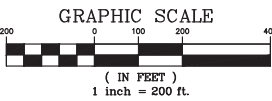
CHERRY CREEK

PLANNED UNIT DEVELOPMENT

PART OF THE WEST 1/2 OF SECTION 26 & A PART OF THE SOUTH 1/2 OF SECTION 27, BOTH IN TOWNSHIP 36 NORTH, RANGE 6 EAST, CITY OF GOSHEN, ELKHART TOWNSHIP, ELKHART COUNTY, INDIANA
 TAX ID#S: 20-11-27-426-036.000-015; 20-11-26-351-022.000-015; 20-11-26-301-014.000-015 & 20-11-27-377-001.000-015
 (SEE PAGE 2 OF 3 FOR LEGAL DESCRIPTION & PAGE 3 OF 3 FOR GENERAL NOTES)

SURVEY LEGEND

- SCI SET REBAR W/ YELLOW CAP "ABONMARCHÉ FIRM #0050"
- SMAG SET MAG NAIL
- FIP FOUND IRON PIPE
- FCI FOUND CAPPED IRON
- FIR FOUND REBAR
- FOM FOUND MONUMENT
- PP UTILITY POLE
- S STREET SIGN
- G GAS VALVE
- W WATER VALVE
- CS CURB STOP
- MH MANHOLE
- TP TELEPHONE PEDESTAL
- SMH SANITARY MANHOLE
- FHY FIRE HYDRANT
- GW GUY WIRE
- M MAILBOX
- UT UTILITY TUB
- CP CABLE PEDESTAL
- FM FIBER OPTIC MARKER
- GM GAS MARKER
- CI CURB INLET
- CB CATCH BASIN
- IW IRRIGATION WELL
- EP ELECTRIC POST
- WL WATER LINE
- EL ELECTRIC LINE
- GL GAS LINE
- TL TELEPHONE LINE
- OHP OVERHEAD POWER LINE
- FOC FIBER OPTIC LINE



ABONMARCHÉ
 Valparaiso, IN 46286
 303 River Race Drive, Unit 206
 Goshen, IN 46526
 Phone: (765) 774-3333
 Fax: (765) 774-3331
 Email: abonmarche.com

CHERRY CREEK
 WATERFORD MILLS PARKWAY
 REGENT STREET/DIERDORFF ROAD
 GOSHEN, IN 46526

PROJECT TITLE:
 CHERRY CREEK PLANNED UNIT DEVELOPMENT

DRAWN BY: TRM/KG
 DESIGNED BY: KG
 PM REVIEW: BEM
 QA/QC REVIEW: RAN
 DATE: 09-18-24



SIGNATURE: [Signature]
 DATE: [Blank]
 SCALE: 1" = 200'
 ACI JOB #: 22-1784
 SHEET NO: 1 of 3

