Agenda GOSHEN PLAN COMMISSION Tuesday, October 15, 2024, 4:00 pm Council Chambers, 111 E. Jefferson Street, Goshen, Indiana

Please turn off all cell phones

- I. Roll Call
- **II.** Approval of Minutes from 9/17/24
- III. Filing of Zoning/Subdivision Ordinances and Official Staff Reports into Record
- **IV.** Postponements/Withdrawals
- V. PUD Major Change & PUD Preliminary Site Plan (public hearings)

24-02MA - Cherry Creek, LLC, Waterford Commons Business Park, LLC, City of Goshen, and Abonmarche Consultants request a PUD major change and PUD preliminary site plan approval for changes to Cherry Creek PUD, a mixed use residential/commercial development, zoned Residential R-3PUD. The Cherry Creek PUD is ±235 acres, including adjacent right of way and parcels intended for right of way, generally located west of Dierdorff Road, north of Waterford Mills Parkway, east of Regent Street, and south of Waterford Mills Parkway on both sides of Regent Street. The Cherry Creek PUD major change/PUD preliminary site plan proposes:

- New mixed use townhome style buildings in place of some mixed use condo style buildings, with shared access across multiple lots;
- Conditional Uses of pickleball/tennis courts, community centers, child care centers, parks/playgrounds, and swimming pools located on the same lot as a residential use without screening and with no minimum setback for buildings/structures adjacent to residential use/zoning;
- Non-permanent food vendors (food trucks) allowed in mixed use areas with no Conditional Use permit, only during Cherry Creek approved events, with electrical hookups provided and no generators;
- Bollard style light fixtures added along walkways, trails and in common spaces;
- Entrance signs updated and a new interior freestanding sign added;
- Typical landscaping exhibits added to PUD (no change to standards); and
- Active transportation network updated.

VI. Primary Subdivision (public hearing)

24-05SUB – Cherry Creek, LLC, Waterford Commons Business Park, LLC, and Abonmarche Consultants request primary subdivision approval for a 522-lot major mixed use (residential & commercial) subdivision, Cherry Creek. The subject property is generally located west of Dierdorff Road, north of Waterford Mills Parkway, east of Regent Street, and south of Waterford Mills Parkway on the west side of Regent Street, containing ± 180 acres, zoned Residential R-3PUD.

- VII. Audience Items
- VIII. Staff/Board Items
- IX. Adjournment

Minutes - Goshen Plan Commission Tuesday, September 17, 2024 - 4:00 pm Council Chambers, 111 E. Jefferson Street Goshen, Indiana

I. The meeting was called to order with the following members present: Richard Worsham, Caleb Morris, Tom Holtzinger, Doug Nisley, James Wellington, Aracelia Manriquez, and Rolando Ortiz. Also present were City Planner Rhonda Yoder and Assistant City Attorney James Kolbus. Absent: Hesston Lauver

- **II.** Approval of Minutes from 6/18/24 Holtzinger/Wellington 7-0
- III. Filing of Zoning/Subdivision Ordinances and Official Staff Reports into Record Holtzinger/Nisley 7-0
- IV. Postponements/Withdrawals None

V. Primary Subdivision (public hearing)

24-04SUB – Last Dance LLC and Abonmarche Consultants request primary approval of a major industrial subdivision, Replat of Lot 1A of the Replat of East College Avenue Industrial Park, to divide Lot 1A into eight (8) individual lots. The subject property contains ± 113.62 acres, and is generally located on the north side of College Avenue, between Brinkley Way East and Brinkley Way West, zoned Industrial M-1.

Staff Report:

Ms. Yoder reminded Commission members that the Plan Commission has exclusive control over primary and secondary subdivision approval. She explained that a subdivision replat follows the applicable major or minor subdivision process, which in this case is a major subdivision, and approval can only be granted if the conditions of the Goshen Subdivision Ordinance are met. Following primary approval, any Zoning Ordinance deficiencies require BZA approval and that approval must be in place prior to secondary approval.

The proposed replat of Lot 1A will divide Lot 1A into 8 individual lots. Each lot must meet the requirements of the M-1 zoning district and she noted the interior side parking setback and the rear parking aisle setback are not met, requiring BZA approval.

She summarized that the entire lot began development as a single zoning lot which means there is currently cross access and zero foot setbacks internally. In order to divide into 8 lots, they must be able to meet the requirements. She commented that shared driveways are located between the lots, requiring cross access easements, including fire access, and the fire access easement also needs to include fire hydrant location. She went on to explain the buildings are so large, that one fire hydrant may not be sufficient if there is a fire, making access between the lots important in case more than one hydrant needs to be utilized. For this reason, there should be no internal fencing within the subdivision, and staff recommends a plat restriction prohibiting internal fencing between the lots.

A storm sewer is another shared easement and there were some new public storm sewer easements created with the recent replat, but this replat also requires private sewer easements. A distinction needs to be made between the private and public storm sewer easements.

A perimeter fencing plan is also included in the staff report and because it crosses lot lines, BZA approval will be required. The plan also shows the fence crossing over the private storm sewer and access easements, so Staff recommends a plat note allowing the perimeter fencing to cross easements. She went on to say that typically the plat prohibits encroachments in easements, but in this case it's a private easement and if this is what the owner wants it should be shown as allowed on the subdivision plat. She noted this would be at the shared entrances only.

Shared parking is proposed on the west side for Lots 9-12, and an easement is required crossing all four lots. The Zoning Ordinance generally requires parking on the same lot as the structure, so the shared parking requires approval from the BZA.

Staff recommends approval of the primary subdivision with the conditions listed in the Staff Report.

Petitioner Presentation:

Crystal Welsh, Abonmarche, 303 River Race Drive, spoke on behalf of the petitioner, noting they are doing the site engineering for the project. As mentioned, the site was initially intended to operate as one large facility, but as they have been up and operating, they've found it makes sense for each building to be on its own lot. There is a lot of work going on to establish legal rights-of-way so people can get to where they need to be via easements as opposed to publicly dedicated roads. A main concern is fire safety and making sure the internal driveways are large enough to accommodate fire trucks. This is all in progress and they have discussed Staff's comments with the property owner, who has no concerns with the recommended conditions.

Mr. Worsham asked if the intention is for these lots to have separate owners.

Ms. Welsh responded it's her understanding this is not their short-term goal, but it will give them the opportunity to do so in the future.

Audience Comments: None

Close Public Hearing

Staff Discussion: There was no discussion amongst Staff members.

Action:

A motion was made and seconded, Wellington/Morris, to grant primary approval for 24-04SUB, based upon the Staff Analysis and with the conditions listed in the Staff Report. The motion passed unanimously by a vote of 7-0.

- VI. Audience Items None
- VII. Staff/Board Items None

VIII: Adjournment – 4:11 pm Morris/Holtzinger

Respectfully Submitted:

Lori Lipscomb, Recording Secretary

Approved By:

Richard Worsham, President

Tom Holtzinger, Secretary

То:	Goshen City Plan Commission
From:	Rhonda L. Yoder, Planning & Zoning Administrator
Subject:	24-05SUB, Primary Approval of a Major Subdivision, Cherry Creek
Date:	October 15, 2024

ANALYSIS

Cherry Creek, LLC, Waterford Commons Business Park, LLC, and Abonmarche Consultants request primary subdivision approval for a 522-lot major mixed use (residential & commercial) subdivision, Cherry Creek. The subject property is generally located west of Dierdorff Road, north of Waterford Mills Parkway, east of Regent Street, and south of Waterford Mills Parkway on the west side of Regent Street, containing ± 180 acres, zoned Residential R-3PUD.

According to the Goshen Subdivision Ordinance (SO), a major subdivision involves two or more lots along with the establishment of a new street or easement of access, and substantial changes to existing drainage systems. Major subdivision approval occurs in two phases, primary subdivision and secondary subdivision. The primary subdivision is intended to show a total development plan, including physical features, proposed lot layout, proposed street patterns, land to be reserved for public use, sewer and water extensions, and drainage facilities. The Plan Commission determines if the proposed development plan is suitable for the proposed site.

The Plan Commission has exclusive control over primary and secondary subdivision approvals. Subdivision applications may be granted approval, granted approval with conditions, or disapproved (SO Section 530). Approval may be granted only if the conditions of the Goshen Subdivision Ordinance are met. The Plan Commission may waive only those conditions found exclusively in the Goshen Subdivision Ordinance, and may not waive any standards found in the Goshen Zoning Ordinance.

The current Cherry Creek primary subdivision will replace the original primary subdivision approved by the Plan Commission on January 16, 2024, and includes Sheets 1-15 with layout details and the preliminary drainage plan (copies provided) and Sheets 16-28 with drainage, utility and grading details (copies not provided). A phasing plan is included, along with a land use layout and active transportation exhibit to provide additional detail.

The existing Cherry Creek PUD includes the following standards that impact subdivision review, and these standards will likely remain unchanged except for an update to the active transportation network exhibit, pending as part of the PUD major change/PUD preliminary site plan application:

- a. Maximum residential unit density calculated using the overall Cherry Creek area, including common areas but excluding public right of way.
- b. Sidewalks and trails installed generally per Exhibit B of Ordinance 5173, Active Transportation Network (update pending).
- c. Lot size, lot width, building height, building coverage and setbacks are not subject to specific standards, but provided lot size, lot width, setbacks and building coverage must ensure adequate space to meet all developmental requirements, such as landscaping and parking, and to maintain access for all services (fire protection, utilities, mail delivery, trash collection, for example).

All streets with right of way at or exceeding 60' require a local street label, for example, Cherry Creek Lane 70' R/W (local), and this is included in the primary subdivision and is required for each secondary subdivision.

Evaluation of the Primary Subdivision Plan

After reviewing the primary subdivision plan for Cherry Creek and the Goshen SO and Cherry Creek PUD standards, the following comments/questions must be addressed:

1. Include match lines as needed for each secondary subdivision (some are shown; some may be missing).

- 2. For each secondary subdivision, lot numbers must be consecutive within that section and into the next phase/section. If Phase 1/Zone 1 is intended as a separate first subdivision section, Lot 94 should follow the last lot number in Phase 1/Zone 1, with the correct lot number likely Lot 76.
- 3. Common Spaces
 - Explain why Common Space A, labeled as drainage, maintenance and access easement, is a common space rather than an easement?
 - Common Space C Entire area must be part of first subdivision section if Phase 1/Zone 1 and Phase 1/Zone 2 are separate subdivision sections.
- 4. Remove building setback lines from plat (in Legend and on drawing) for each secondary subdivision.
- 5. Remove parking setback lines from plat (in Legend and on drawing) for each secondary subdivision.
- 6. Street Names
 - Mockingbird Drive Runs in two directions. Per SO, street names change with a major directional change.
- 7. General Edits (update on all applicable sheets):
 - Legend: B1, Blanket easement has typo for the word drainage.
 - Legend: B1, Blanket easement should include Lot 101 (as proposed), but lot numbers may change if Lot 94 is updated to Lot 76.
 - Legend: B2, Delete "identified on the PUD land use and conditional use map" as the easement cannot be tied to a non-recorded document that is subject to change.
- 8. For each secondary subdivision, boundary and lot line dimensions must have exact dimensions in feet and hundredths thereof.
- 9. Non-access easements 5' in width are required along each abutting arterial street, Waterford Mills Parkway and Dierdorff Road, and are also required along interior streets where access will be prohibited, including portions of Fairways Drive, including on either side of the linear park. The non-access easements should continue through Common Spaces that abut Waterford Mills Parkway and Dierdorff Road. The only exception to the non-access easements will be temporary construction entrances, permitted only when authorized by Goshen Engineering through approval of a right of way permit prior to installation
- 10. Easements and agreements required prior to secondary subdivision approval include:
 - Temporary construction easements
 - Off-site easement across City property (Waterford Mills Parkway, for example) for drainage pipes
 - Off-site drainage retention easements, with instrument numbers included on the secondary subdivision
 - Off-site drainage agreements, executed before secondary subdivision approval is granted
 - Trail access easements (on plat) for portions of trail on Cherry Creek property
- 11. Dierdorff Road right of way dedication of City parcels is required before the first secondary subdivision is submitted for Phase 2.
- 12. Final roadway design as recommended by the *Cherry Creek Development Traffic Impact Study*, dated March 2023, is required as part of secondary subdivision submittal.
- 13. The mail delivery system must be confirmed in writing by the Goshen Post Office as part of secondary subdivision submittal.

Conditions to be met prior to secondary approval, and requirements to be completed before construction begins and before a zoning clearance/building permit is issued, are outlined in the following section.

RECOMMENDATIONS

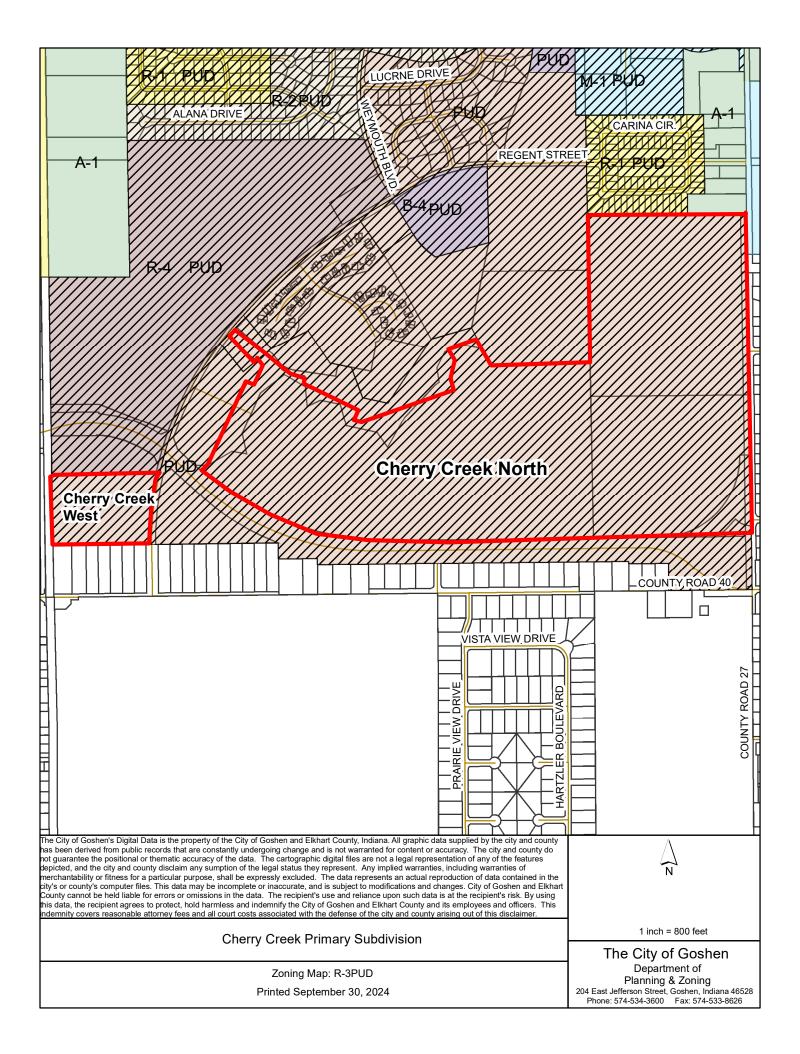
Staff recommends the Plan Commission grant primary approval with conditions for Cherry Creek subdivision, based upon the following and including the following conditions:

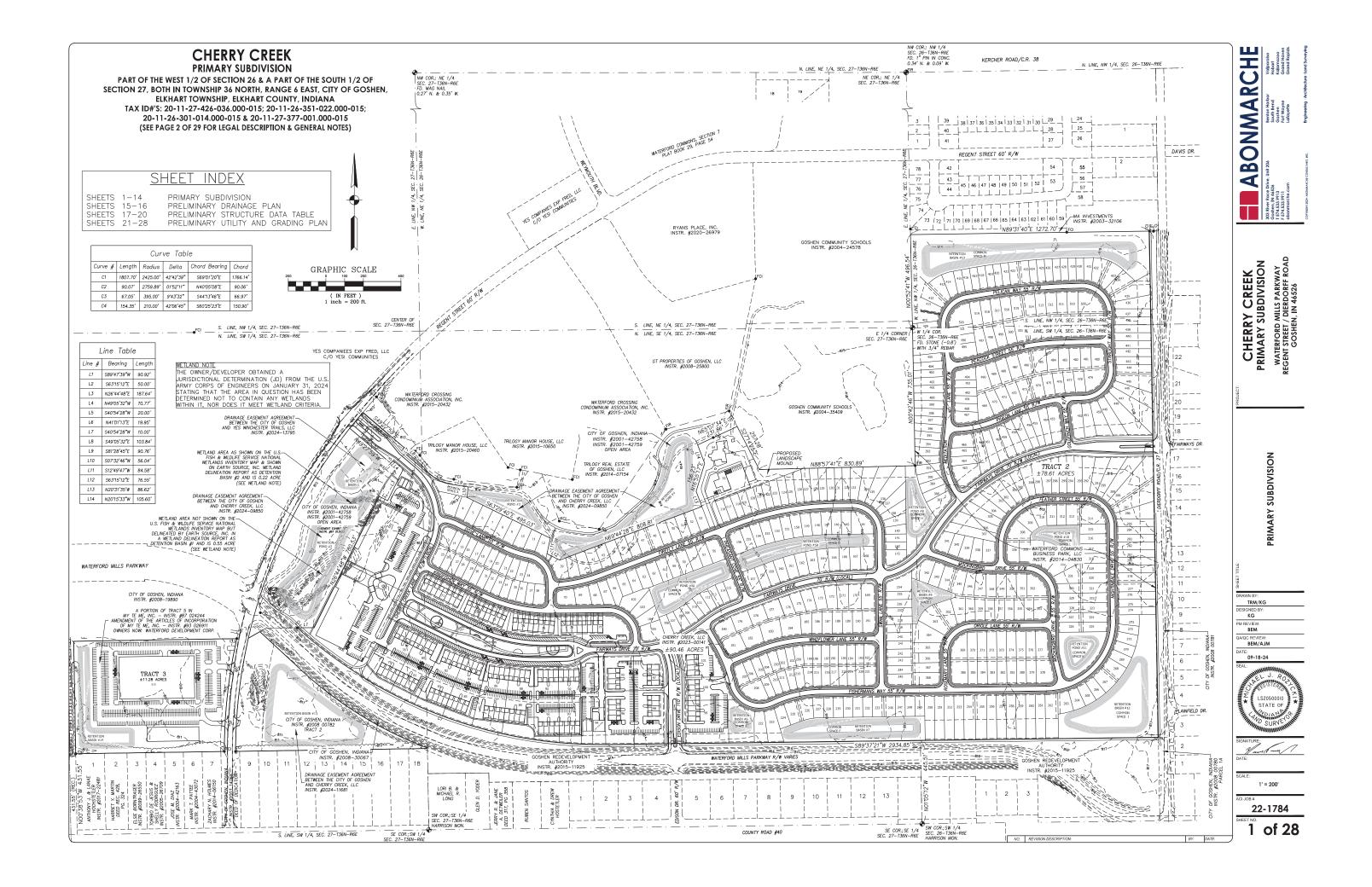
- 1. Zoning and Subdivision Ordinance requirements are met, except as noted.
- 2. Approval is contingent on conformance with the final Cherry Creek PUD, with a PUD major change/PUD preliminary site plan pending review by Plan Commission and Goshen Common Council.
- 3. The secondary subdivision shall address the identified technical corrections and Technical Review comments provided by Engineering, Stormwater, and Fire, including:
 - Include east-west match lines as needed for each secondary subdivision.

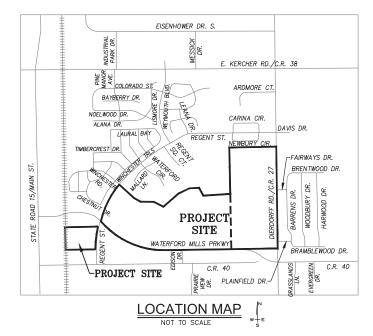
- For each secondary subdivision, lot numbers must be consecutive within that section and into the next phase/section.
- The entire area of Common Space C must be part of first subdivision section if Phase 1/Zone 1 and Phase 1/Zone 2 are separate subdivision sections.
- Remove building setback lines from plat (in Legend and on drawing) for each secondary subdivision.
- Remove parking setback lines from plat (in Legend and on drawing) for each secondary subdivision.
- Street name updates:
 - Mockingbird Drive Runs in two directions. Per SO, street names change with a major directional change.
- Make the following general edits:
 - Legend: B1, Correct typo for the word drainage.
 - Legend: B1, Include Lot 101 (as proposed), or change lot numbers if Lot 94 is updated to Lot 76.
 - o Legend: B2, Delete "identified on the PUD land use and conditional use map."
- All lots and common spaces proposed for development within a subdivision section must be part of the secondary subdivision for that section.
- All streets with right of way at or exceeding 60' require a local street label as part of each secondary subdivision.
- For each secondary subdivision, boundary and lot line dimensions must have exact dimensions in feet and hundredths thereof.
- Non-access easements 5' in width are required along each abutting arterial street, Waterford Mills Parkway and Dierdorff Road, and along interior streets where access will be prohibited, including portions of Fairways Drive.
- Easements and agreements required prior to secondary subdivision approval include:
 - Temporary construction easements
 - o Easement across City property (Waterford Mills Parkway, for example) for drainage pipes
 - Off-site drainage easements, with instrument numbers included on the secondary subdivision plat
 - o Off-site drainage agreements, executed before secondary subdivision approval is granted
 - Trail access easements (on plat) for portions of trail on Cherry Creek property
- Dierdorff Road right of way dedication of City parcels is required before the first secondary subdivision is submitted for Phase 2.
- Final roadway design as recommended by the *Cherry Creek Development Traffic Impact Study*, dated March 2023, is required as part of secondary subdivision submittal.
- The mail delivery system must be confirmed in writing by the Goshen Post Office as part of secondary subdivision submittal.
- 4. The drawings, application and fee for the secondary subdivision shall be submitted to the Planning office, and Staff may review on behalf of the Plan Commission.
- 5. Per SO Sections 511.6 and 571.10, the final plat shall include all easements dimensioned and identified to their specific use, including all existing easements and all required new easements.
- 6. Per SO Sections 512 and 812, an overall subdivision drainage plan shall be prepared and certified by a registered engineer or registered land surveyor, submitted to the City Engineer, and approved by the Board of Works before secondary approval is granted.
- 7. All infrastructure improvements shall be designed and built according to the latest City standards, per SO Section 800.
- 8. Connection to City water and sewer is required, and utility extension plans shall be approved by the City Utility Engineer.
- 9. Per SO Section 812, construction drawings shall be submitted to the City Engineer showing all streets, all underground utilities, and all other required improvements, including fire hydrants and street and traffic control signs.
- 10. The final street plan shall be reviewed and approved by the Goshen Fire Department to ensure that access is provided for fire trucks as each phase is constructed, including any required temporary turn-arounds.
- 11. If the plat is to be finalized and recorded before infrastructure improvements are constructed and accepted for maintenance, a performance bond/surety shall be filed with and approved by the City Engineer and the Board of Public Works and Safety before construction begins and before secondary approval is granted.

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- 12. After all identified corrections are made, reviewed and approved, dedications and easements shall be accepted by the Board of Works per SO Section 820 before secondary approval is granted.
- 13. When secondary approval is granted, the signed plat will be provided to the applicant for recording, with two full size recorded copies provided to the City or a clear, full-size PDF submitted via email.
- 14. The secondary subdivision shall be reviewed and approved and a recorded plat on file before a zoning clearance/building permit is issued for any individual lot.
- 15. Following secondary approval, a PUD final site plan, including landscaping, is required for each condo/commercial lot, to be reviewed by Staff on behalf of the Plan Commission, with concurrent review through Technical Review.







LEGAL DESCRIPTION PER INSTR. NUMBER 2023-00141

A PART OF THE SOUTH HALF OF SECTION 27 IN TOWNSHIP 36 NORTH, RANGE 6 EAST, ELKHART TOWNSHIP, ELKHART COUNTY, INDIANA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

A PART OF THE SOUTH HALF OF SECTION 27 IN TOWNSHIP 36 NORTH, RANGE 6 EAST, ELKHART TOWNSHIP, ELKHART COUNTY, INDIANA, BEING MORE PARTICULARLY DESCRIED AS FOLLOWS: COMMENCING AT A STONE MARKING THE EAST QUARTER-CORNER OF SAID SECTION 27. THENCE ON AN ASSUMED BEARING OF SOUTH 0D DEGREES 42 MINUTES AS ESCONDS EAST ALONG THE EAST QUARTER-CORNER OF SAID SECTION 27. THENCE ON AN ASSUMED BEARING OF SOUTH 0D DEGREES 42 MINUTES AS ESCONDS EAST ALONG THE EAST QUARTER-CORNER OF SAID SECTION 27. THENCE ON AN ASSUMED BEARING OF SOUTH 0D DEGREES 42 MINUTES AS ESCONDS EAST ALONG THE EAST QUARTER OF SAID SCOTTAGUES TO THE GOSTEM COMMUNITY SCHOOLS AS DESCRIED AND RECORDED IN THE OFFICE OF THE RECORDER OF ELKHART COUNTY IN INSTRUMENT NUMBER ZOOMAENT OF SAID SCOTTAGUES CHECK THE ASSUME OUARTER OF SAID SECTION 27. A DISTANCE OF 735.01 FEET TO THE ADDITAGUES TO SCHOOL SAD SECTION 27. A DISTANCE OF 1464.45 TEET TO THE AND THE LINE OF THE RIGHT OF WAY SOLD WATERFORD MILLS PARKWAY. THENCE SOUTH 80 DEGREES 37. MINITES 21. SECONDS MEST ALONG THE NORTH LINE OF THE RIGHT OF WAY DEAD OF WATERFORD MILLS PARKWAY. THENCE SOUTH 80 DEGREES 37. MINITES 21. SECONDS MEST ALONG THE NORTH LINE OF THE RIGHT OF WAY DEAD OF WATERFORD MILLS PARKWAY. THENCE SOUTH 80.DEGREES 37. MINITES 21. SECONDS MEST ALONG THE NORTH LINE OF THE RIGHT OF WAY DEAD OF WATERFORD MILLS PARKWAY. A DISTANCE OF 1807.76 FEET(TOND BEARING NORTH 69 DEGREES OT MINUTE 17. SECONDS WATERFORD DISTAGE 766.19 FEET) TO THE MOST SOUTHERLY CORNER OF A PARCEL OF LAND COMYEVED TO THE CITY OF GOSHEN, INDIANA AS DESCRIED AND RECORDED IN THE OFFICE OF THE RECORDER OF ELKHART COUNTY IN INSTRUMENT NUMBER 2001-42758, THENCE ANORT HE SOUTHERLY COURSES, SAD COUNTSES BEING ALONG THE SOUTH HUR OF SADL ON THE OFFIC THENCE ANDRE AS A DISTANCE OF 200.00 FEET; THENCE SOUTH 79 DEGREES 44. DISTANCE OF 160.00 FEET, THENCE MORTH 60 DEGREES 18 MINUTES 38 SECONDS EAST. A DISTANCE OF 200.00 FEET; THENCE SOUTH 79 DEGREES 74. A DISTANCE OF 200.00 FEET; THENCE SOUTH 160 DEGREES 05 MINUTES 38 SECONDS EAST. A DISTANC

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LEGAL DESCRIPTION PER INSTR. NUMBER 2014-04830

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CHERRY CREEK PRIMARY SUBDIVISION

PART OF THE WEST 1/2 OF SECTION 26 & A PART OF THE SOUTH 1/2 OF SECTION 27, BOTH IN TOWNSHIP 36 NORTH, RANGE 6 EAST, CITY OF GOSHEN, ELKHART TOWNSHIP, ELKHART COUNTY, INDIANA TAX ID#'S: 20-11-27-426-036.000-015; 20-11-26-351-022.000-015; 20-11-26-301-014.000-015 & 20-11-27-377-001.000-015

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CONTAINING 0.17 ACRES, MORE OR LESS.

GENERAL NOTES

REGENT STREET

THE PROPERTY IS CURRENTLY ZONED PUD

EXISTING ROADS FRONTAGE OF THE PROJECT DIERDORFF ROAD WATERFORD MILLS PARKWAY

LADD USE SUMMARY SINGLE-FAMILY RESIDENTIAL LOTS MULTH-FAMILY MIXED USE LOTS COMMERCIAL, (SHOWROOM AND MAINTENANCI UTILITY / LIFT STATION COMMON DAYCES (CHERRY CREEK) OWNED BY CITY OF GOSHEN RIGHT OF WAY

THE FOLLOWING NUMBER OF RESIDENTIAL UNITS IS CURRENTLY PROPOSED: SINGLE-FAMILY (487 UNITS) SINGLE-FAMILY DETACHED SINGLE-FAMILY ATTACHED

MULTI-FAMILY (731 UNITS) TOWNHOME STYLE TOWNHOME STYLE / MIXED USE 184 UNITS CONDOMINIUM STYLE / MIXED USE 451 UNITS

THE DENSITY OF DWELLING UNITS PER ACRE ACROSS THE FULL CHERRY CREEK DEVELOPMENT, INCLUDING COMMON SPACES, BUT EXCLUDING PUBLIC RIGHT-OF-WAY MILL BE APPROXIMATELY B UNITS PER ACRE.

• SIONNAME IS UNMISE LEASING SUMMED IS UNKNED IN THE LOT OF DEVENTY FOR THE PROPERTY FOR THE PROPERTY LASE LLD TO CONSTRUCT AND UNMISE OFFICE TANDARD BASING ON CITY OWNED PROPERTY FOR THE PROPERTY FOR THE PROPERTY AS OUTLINED IN THE APPROVED UNMISE OFFICE THE DRELIEST. STORMWHITE DRAINAGE EASEMENTS WITHIN PROPOSED LOTS AND COMMON SPACES CONTAINING RELEATION IN OHERRY CREEK PUD GRAINTED BY OHERRY CREEK LLD FOR BENETT TO THE CITY OF GOSHEN FOR BENEFIT TO CHERKY ORER LLD FOR OTHER PROPERTY NUCLOED IN THE OHERRY CREEK PUD AS OUTLINED IN THE APPROVED DEVISION STAWL STREY DISCIDANCE FOR PROPERTY NUCLOED IN THE OHERRY CREEK PUD AS OUTLINED IN THE APPROVED DEVISIONEMENT AGREEMENT - ACCESS, DRAINAGE, LANDSCAPE, AND MAINTENANCE. EASEMENTS STABLISHED ACROSS INDIVIDUAL LOTS WITHIN THE CHERRY CREEK AUDITION DETAT FOR CHERRY CREEK LLD TO CONSTRUCT AND MAINTAIN STORMWATER MANAGEMENT SYSTEMS, LANDSCAPING AND MOUNDING, AND TO PERFORM GENERAL MAINTENANCE. ACCESS SEABUENTS GRAINED BY CHERRY CREEK LLC FOR BENEFIT TO THE CITY OF GOSHEN AND PUBLIC FOR NON-DEDICATED TRAILS IN CHERRY OREK. UTILITY EASEMENTS ADJACENT TO PUBLIC RICH-OF-WAY WHERE SPECIFIED ON THE SUBDIVISION PLAT. SANITARY SEWER EASEMENT FROM CHERRY CREEK LLC TO CITY OF GOSHEN ACCESS EASEMENTS ADJACENT TO PUBLIC RICH-OF-WAY WHERE SPECIFIED ON THE SUBDIVISION PLAT. SANITARY SEWER EASEMENT FROM CHERRY CREEK LLC TO CITY OF GOSHEN ACCESS EASEMENTS ADJACENT TO PUBLIC RICH-OF-WAY WHERE SPECIFIED ON THE SUBDIVISION PLAT. SANITARY SEWER EASEMENT FROM CHERRY CREEK LLC TO CITY OF GOSHEN ACCESS EASEMENTS ADJACENT TO PUBLIC RICH-OF-WAY WHATER SEAFLING AND MATER STATION ON LOT 94. ACCESS EASEMENTS FROM CHERRY CREEK LLC TO CITY OF GOSHEN ACCESS EASEMENT FROM CHERRY CREEK LLC TO CITY OF GOSHEN ACCESS EASEMENT FROM CHERRY CREEK LLC TO CITY OF GOSHEN TO ACCESS LITY STATION ON LOT 94. ACCESS EASEMENT FROM CHERRY CREEK LLC TO CITY OF GOSHEN TO ACCESS LITY STATION ON LOT 94. ACCESS EASEMENT FROM CHERRY CREEK PARKING, DRIVING AJLES, AND WATER SER- VICE FOR LOTS 142, 78–93, 95–98, AND 99 &

<u>PROJECT PHASING</u> THE PROJECT IS DESIGNED TO BE CONSTRUCTED IN TWO MAJOR PHASES, DETAILS PROVIDED IN THE PUD NARRATIVE AND DEVELOPMENT STANDARDS DOCUMEN

SINCLE-FAMILY ATTACHED HOMES WILL BE A MIX OF 2- AND 3-BEDROOM UNITS. MULTI-FAMILY UNITS WILL BE A MIX OF 1-, 2- AND 3-BEDROOM UNITS.

ALLOWABLE USES ON COMMON SPACES AND MIXED USE LOIS AMENITES PLANNED AT THIS TIME INCLUDE PICKLEBALL COURTS, DOG PARK, NEIGHBORHOOD SWIMMING POOL, COMMUNITY CENTER, PARK AND RECREATIONS SPACES, A PAVILION AND LARGE OPEN SPACE, WIDE WALKING AND BIKING PATH CONNECTED TO THE CITY TRAL TO GET DOWNTOWN, NUMEROUS PONDS WITH FOUNTAINS, FITNESS CENTER, CHILDCARE, RETAIL, BANK, AND RESTAURANTS.

LIGHTING DETAILS PROVIDED IN THE PUD NARRATIVE AND DEVELOPMENT STANDARDS. PROPOSED SIGNAGE SIGN DETAILS PROVIDED IN THE PUD NARRATIVE AND DEVELOPMENT STANDARDS.



FLOODPLAIN THE PROJECT IS NOT LOCATED IN A DELINEATED FLOOD HAZARD ZONE.

<u>SOILS REPORT</u> DETAILS PROVIDED IN THE PUD NARRATIVE AND DEVELOPMENT STANDARDS DOCUMENT.

TRANSPORTATION REPORT

OVERVIEW OF STORMWATER PLAN

OVERALL PROJECT AREA THE PROJECT IS LOCATED ON ROUGHLY 204 ACRES IN SOUTHEAST GOSHEN. THE MAIN PROPERTY IS BOUNDED BY RECENT STREET ON THE WEST, DIERORFF ROAD ON THE EAST, AND WATERFORD MILLS PARKWAY ON THE SOUTH. A LARGE RETENTION AREA AND ANOTHER DEVELOPMENT LOT ARE LOCATED SOUTH OF WATERFORD MILLS PARKWAY.

T			
	2,674		
	6,149		
	2,367		
	11,190	+/-	FEET

DEVELOPMENT_PROJECT_OVERNEW CHERRY CREEK WILL BE A MIXED-USE NEIGHBORHOOD THAT IS DESIGNED FOR AN ACTIVE LIFESTYLE WHERE LIVING, WORKING, AND PLAYING ARE AL AVAILABLE WITHIN WALKING AND BIKING DISTANCE IN THE COMMUNITY.

CHERRY CREEK WILL BE ABUNDANT WITH AMENITIES AND WILL BE COMPLETELY MAINTENANCE-FREE LIVING. HOMEOWNERS WILL HAVE A WILLING UNLER THE DE PADURANT MIT AMENTIES THAT ARE INCLUEE DAMA ELLEL MANGESTALE LANDESTALE LANDESTALE LANDE NOE VARIETY OF ACTIVITIES AND AMENTIES THAT ARE INCLUEE DIN A HOMEOWNER'S ASSOCIATION FEE THAT WILL ALSO COVER OUTDOOR MAINTENANCE AND SNOW REMOVAL AMENTES PLANNED AT THIS TIME INCLUDE A DOG PARK, PARK AND RECREATION SPACES, A PAULION AND LARGE CPEN SPACE, MOE MALKING AND BIKING PATH CONNECTED TO THE CITY TRAIL TO GET DOWNTOWN, NUMEROUS PONDS WITH FOUNTAINS, FITNESS CENTER, CHILDCARE, RETAIL, BANK, AND 2–3 RESTAURANTS.

UP TO 120,000 SQUARE FEET OF COMMERCIAL SPACE WILL BE PROVIDED IN PHASE 1. AN ADDITIONAL 50,000 WILL BE PROVIDED IN PHASE 2

	88 ACRES +/- (43%)
	38 ACRES +/- (18%)
CE LOT	0.8 ACRE +/- (0.4%)
	0.3 ACRE +/- (0.2%)
	21 ACRES +/- (10%)
	24 ACRES +/- (12%)
	33 ACRES +/- (16%)
	204 ACRES +/- (100%)

255 UNITS 232 UNITS

96 UNITS

WATER AND WASTEWATER THE CHERRY CREEK PUD WILL BE SERVICED BY THE CITY OF GOSHEN MUNICIPAL WATER AND SANITARY SEWER.

EASEMENTS A SERIES OF EASEMENTS WILL BE ESTABLISHED THROUGH THE SUBDIVISION PLATTING PROCESS FOR THE CITY OF GOSHEN, UTILITY COMPANIES, AND CHERRY CREEK LLC. THESE EASEMENTS INCLUDE: • STORWMATER DRAINAGE EASEMENTS GRANTED BY THE CITY OF GOSHEN FOR BENEFIT TO CHERRY CREEK LLC TO CONSTRUCT AND MAINTAIN REPURIND, POORS AND BASINS ON CITY OWNED PROPERTY FOR THE PROPOSED PROJECT AS OUTLINED IN THE APPROVED

SINGLE-FAMILY DETACHED HOMES WILL BE A MIX OF 2- AND 3-BEDROOM UNITS WITH THE POTENTIAL FOR AN EGRESS WINDOW TO ALLOW FOR ADDITIONAL BEDROOMS IN THE BASEMENT.

PARKING SUMMARY PROPOSED NUMBER OF PARKING SPACES 2,700 SPACES. PARKING REQUIRED BASED ON CHERRY CREEK STANDARDS IS 2,634 SPACES. PARKING DETAILS PROVIDED IN THE PUD NARRATIVE AND DEVELOPMENT STANDARDS.

LANDSCAPE LANDSCAPE DETAIL IS PROVIDED IN THE PUD NARRATIVE AND DEVELOPMENT STANDARDS.

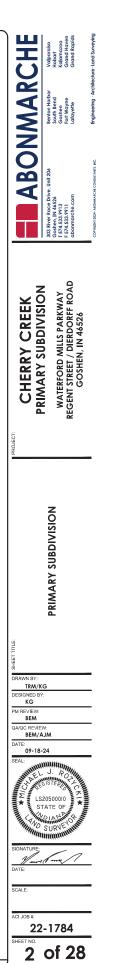
AT THE TIME OF RECORDING OF THIS PUD, THE CITY OF GOSHEN ZONING ORDINANCE GENERALLY REGULATES LANDSCAPING AREAS OF FOUR SITE AREAS;

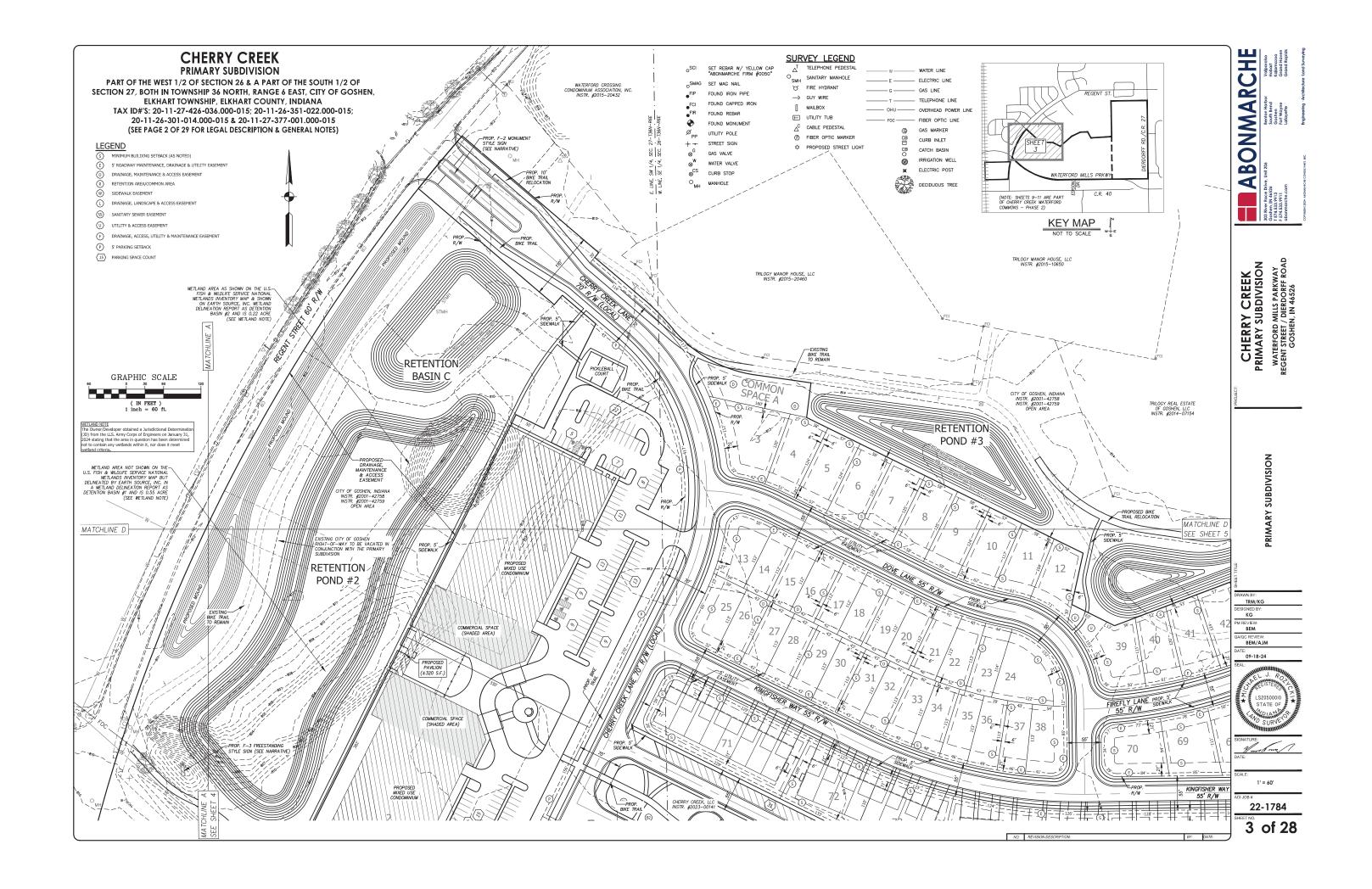
POSSIBLE WETLANDS DFTAILS PROVIDED IN THE PUD NARRATIVE AND DEVELOPMENT STANDARDS DOCUMENT.

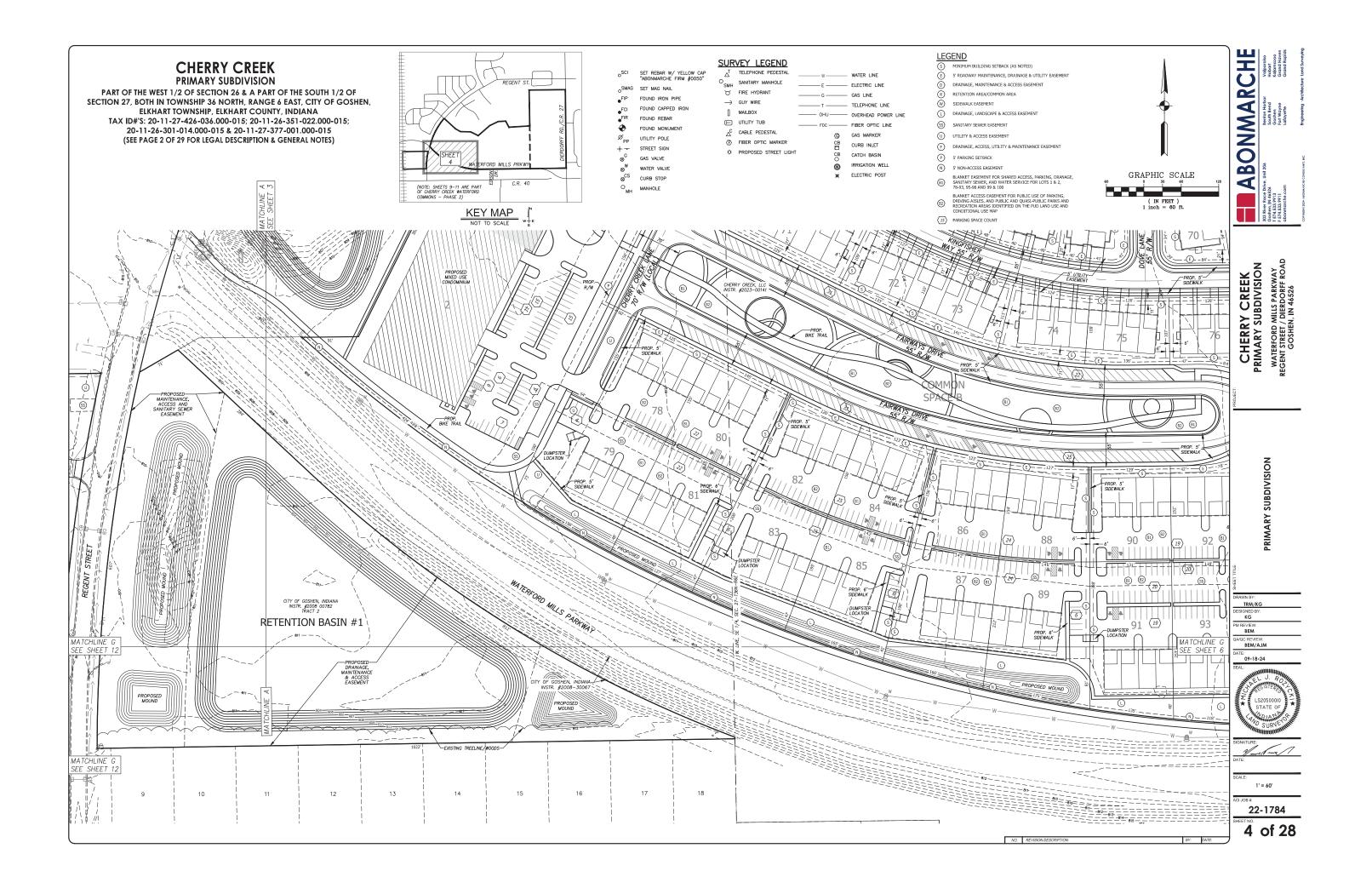
SITE ACCESS THERE MILL BE THREE POINTS OF ACCESS TO THE MAIN PROPERTY AND TWO POINTS OF ACCESS TO THE LOT AT THE SOUTHWEST CORNER OF WATERFORD MILLS PARKWAY AND REGENT STREET.

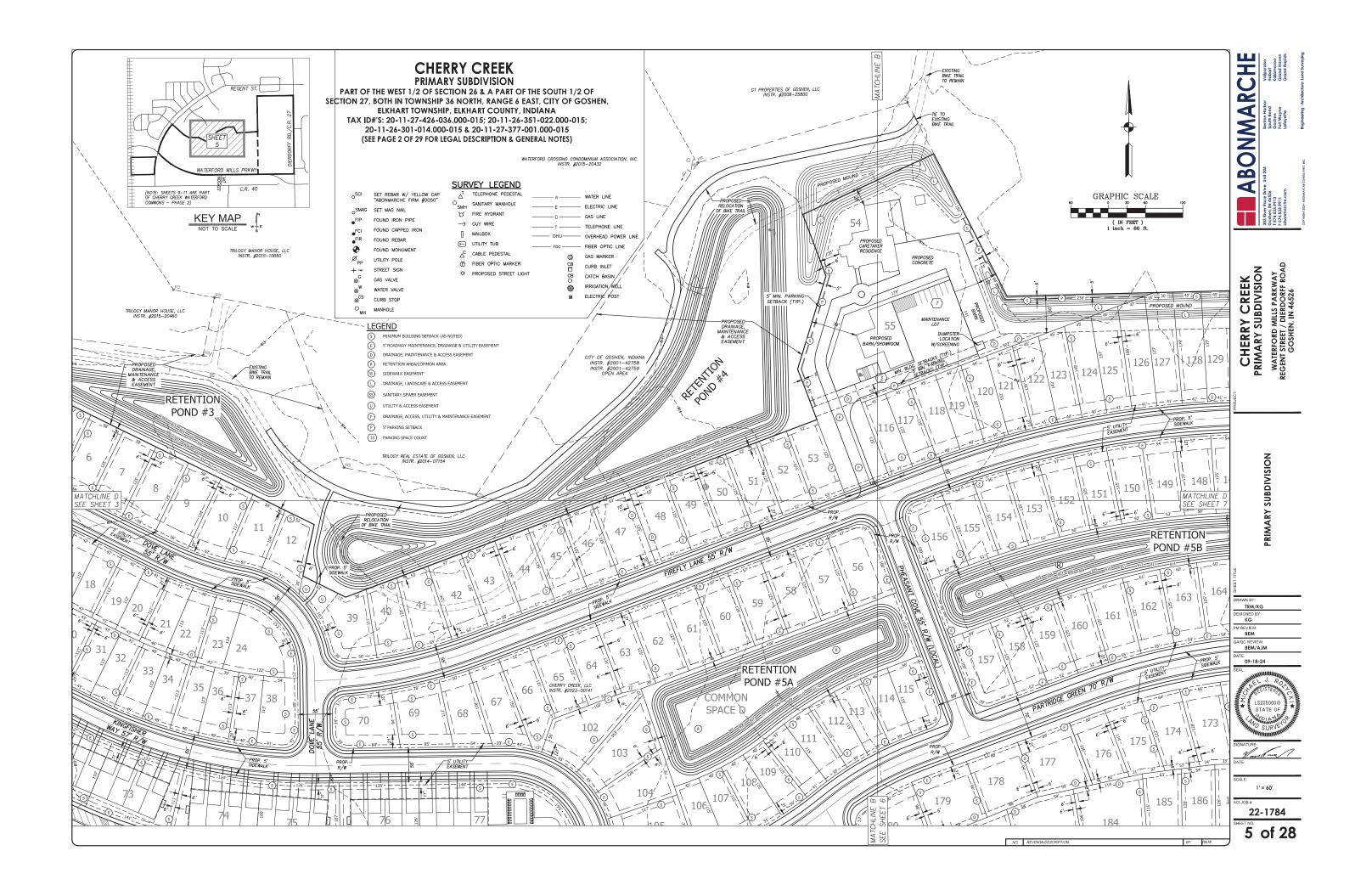
ROADWAYS THERE WILL BE A SERIES OF NEW STREETS FOR THIS PROJECT. ALL STREETS WITHIN THE DEVELOPMENT WILL BE DEDICATED TO THE

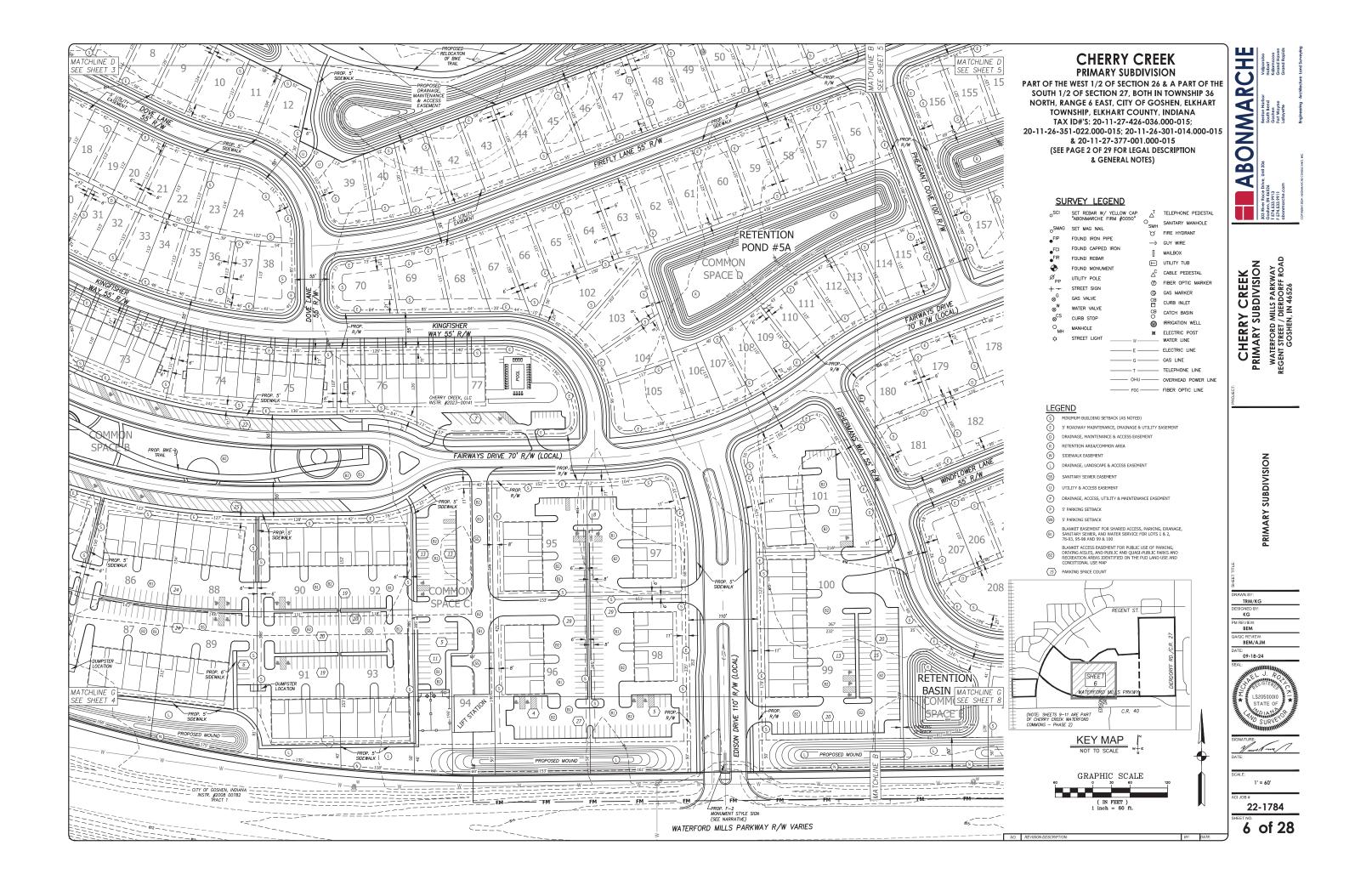
OVERVEW OF STORMMATER PLAN STORMMATER PLAN STORMMATER FUNDEF GEVERATED BY THE GHERRY CREEK PUD SHALL BE RETAINED ONSITE IN A SERIES OF DRY BASINS AND WET PONDS WITH CONVEYINGCE BY SURFACE SWALES AND UNDERGOUND STORM SEWER PIPE'S AND STRUCTURES. PROPOSED RETENTION AREAS ARE STATED ON LAND OWNED BY SOTH CHERRY CREEK LLC AND THE GITY OF COSHN.

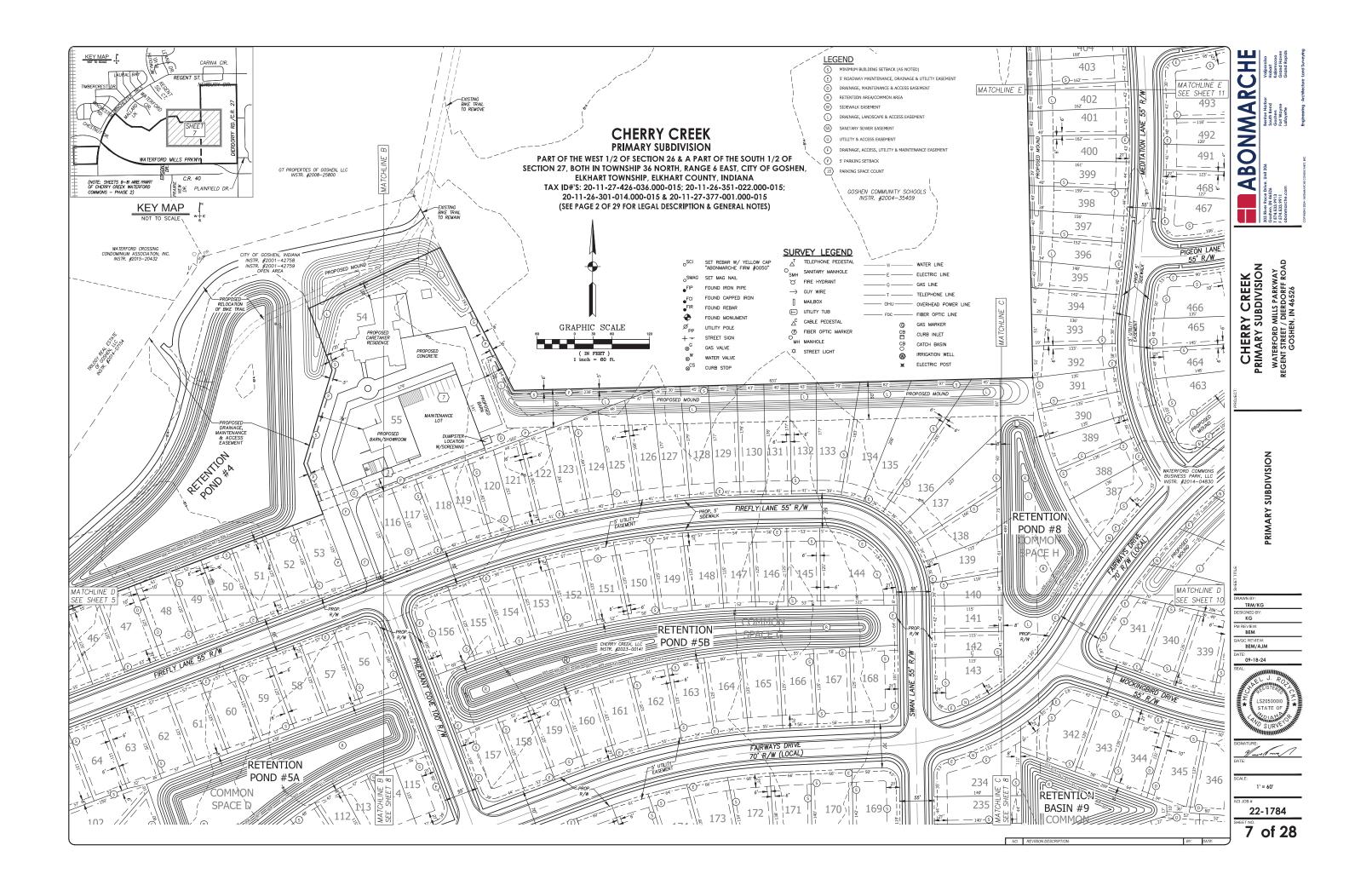


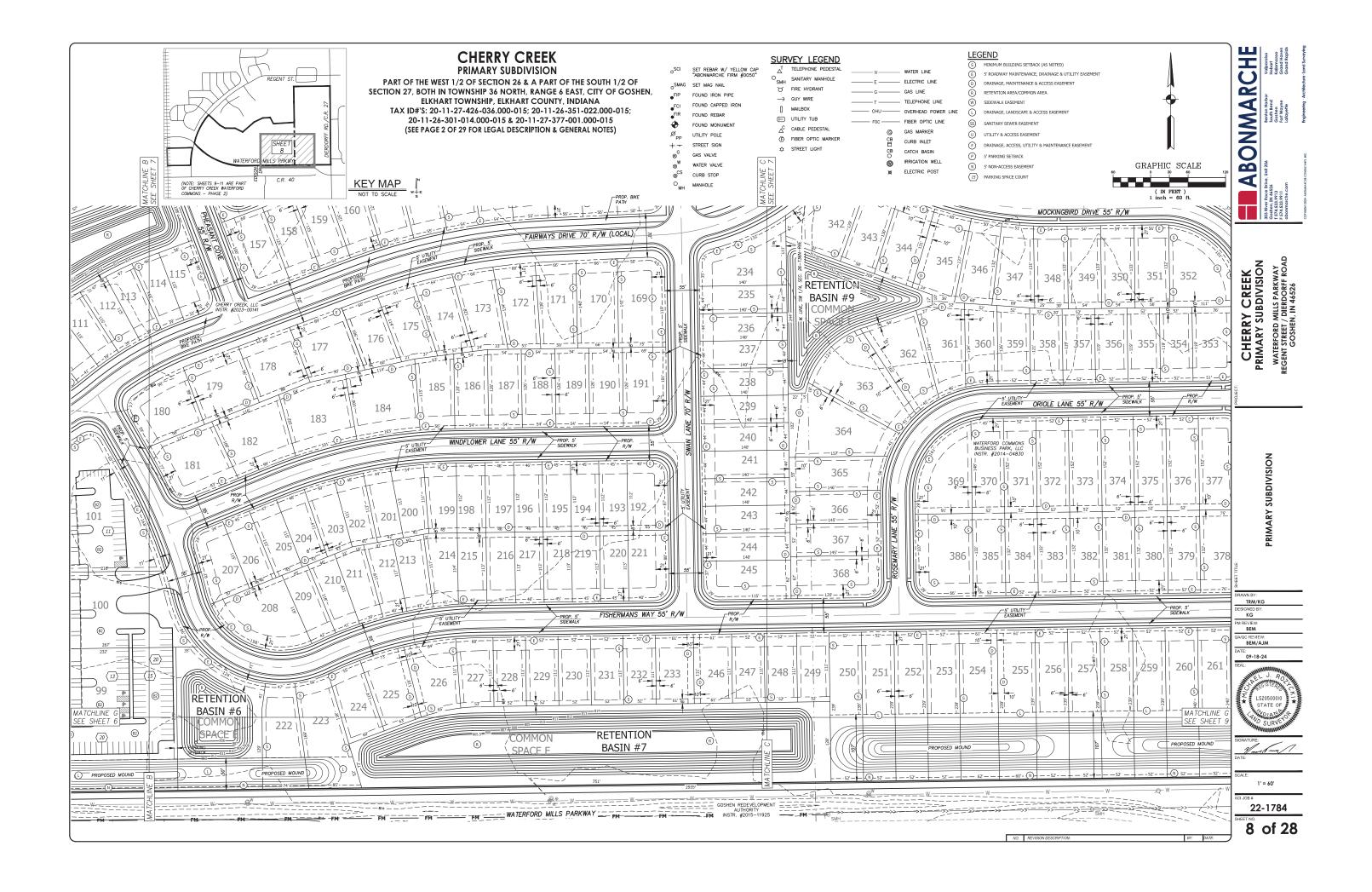


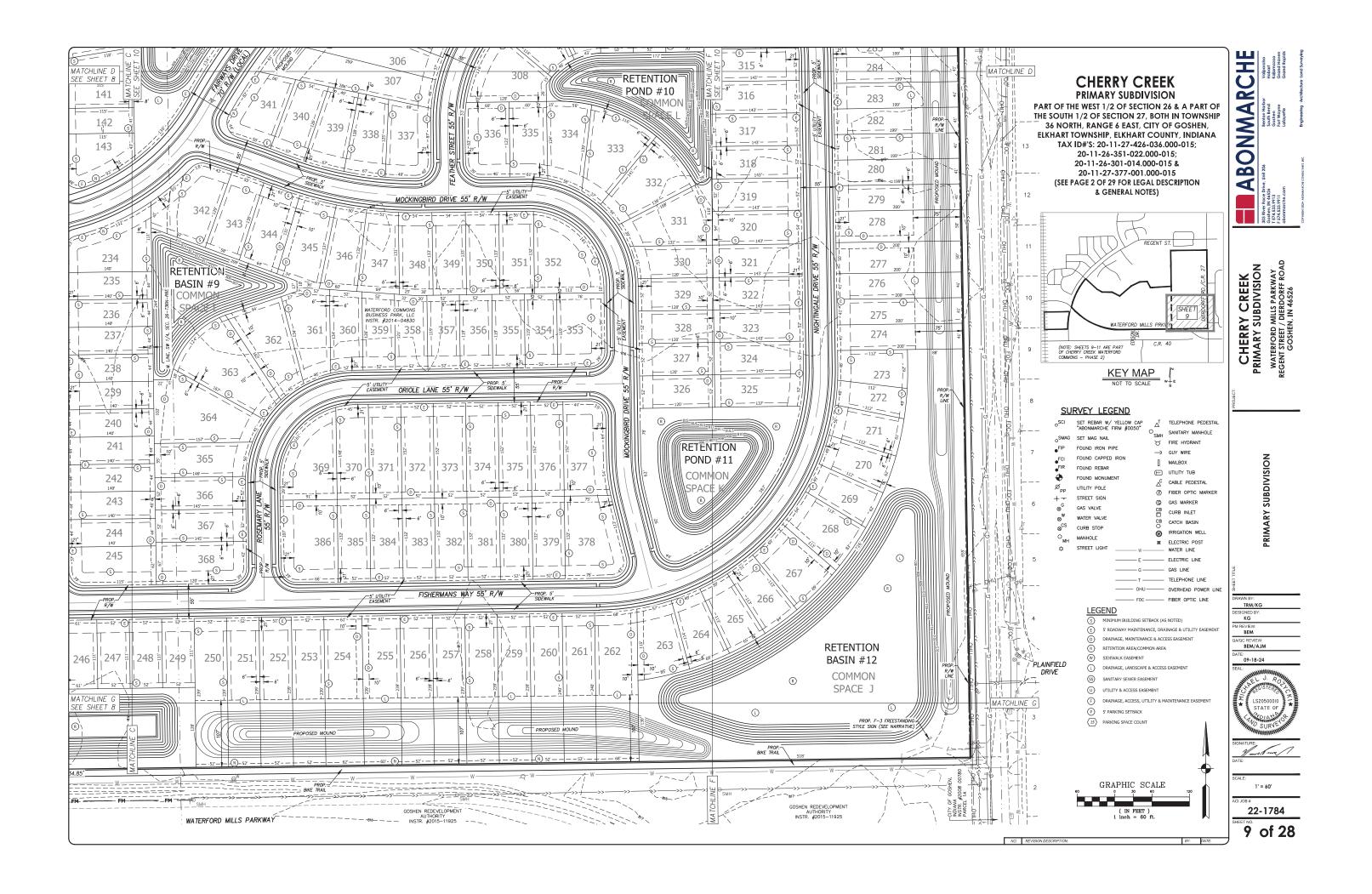


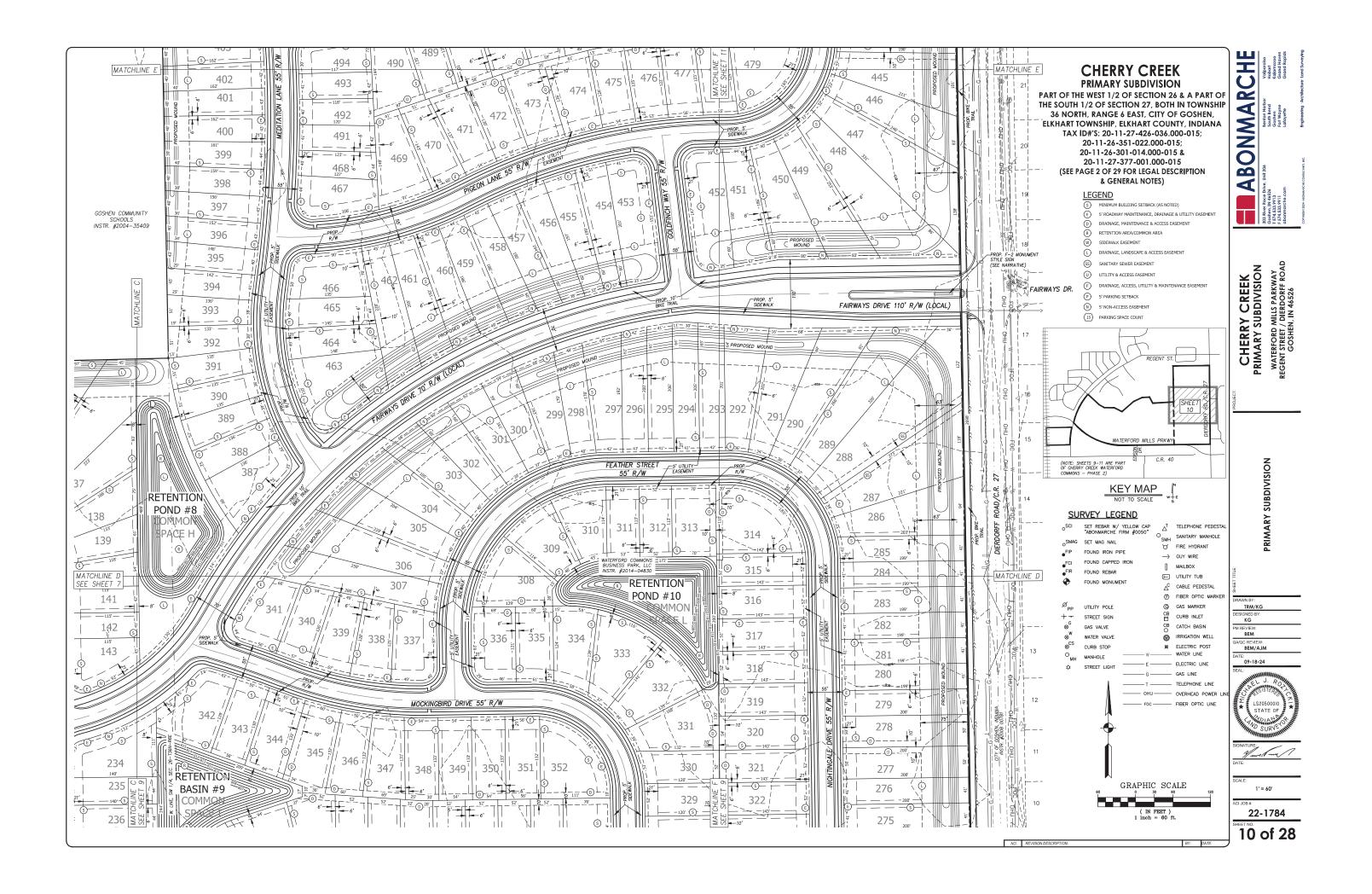


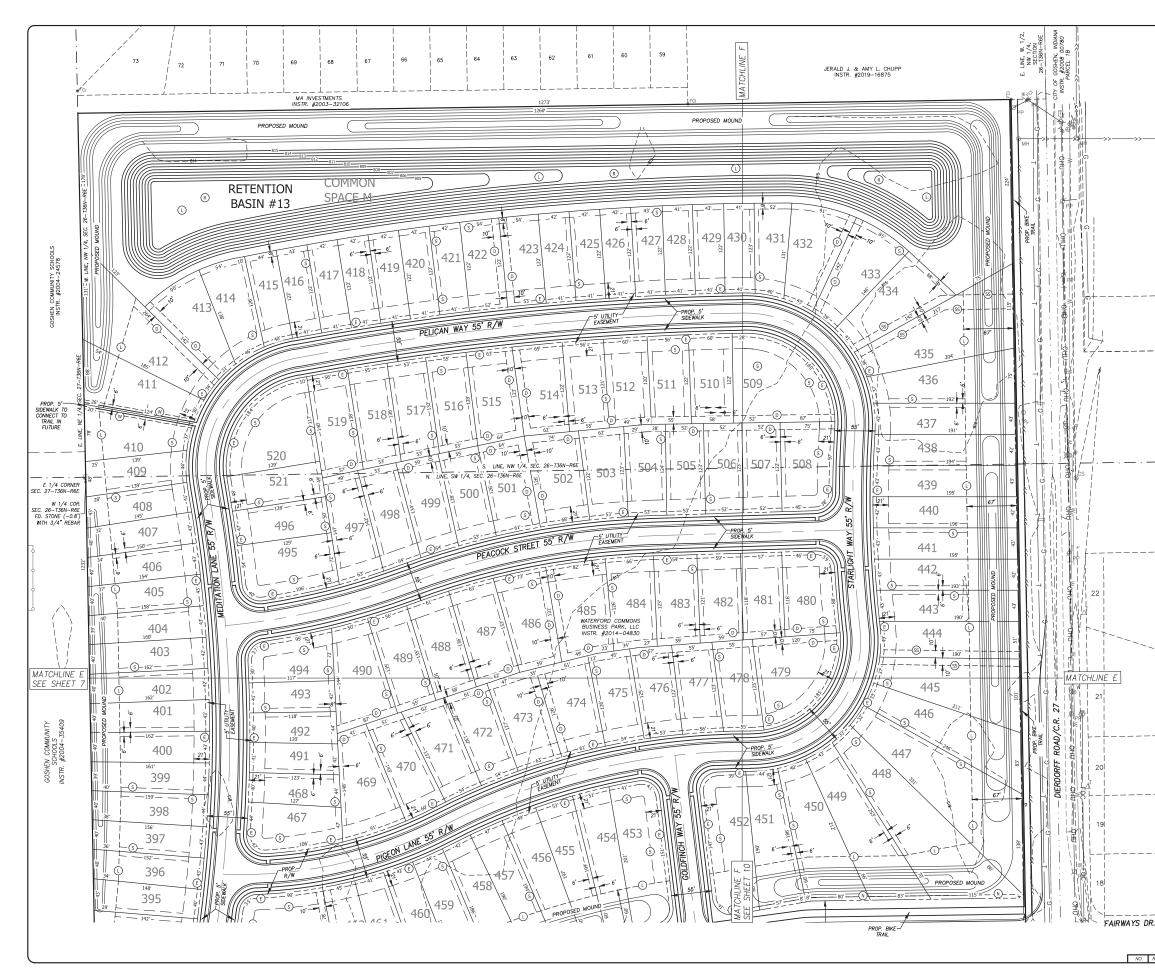


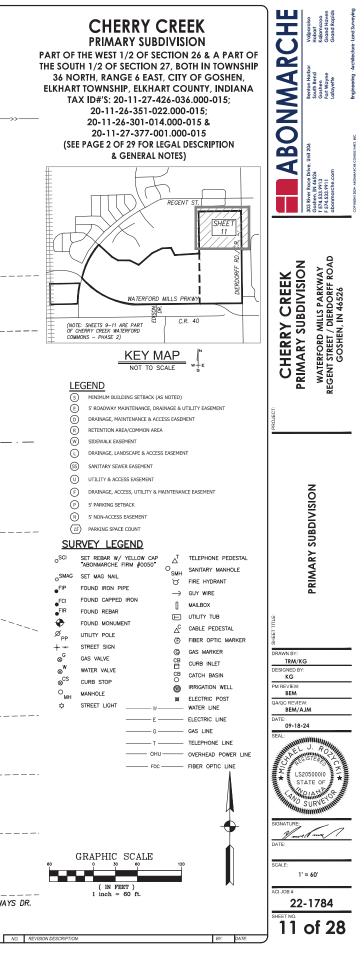


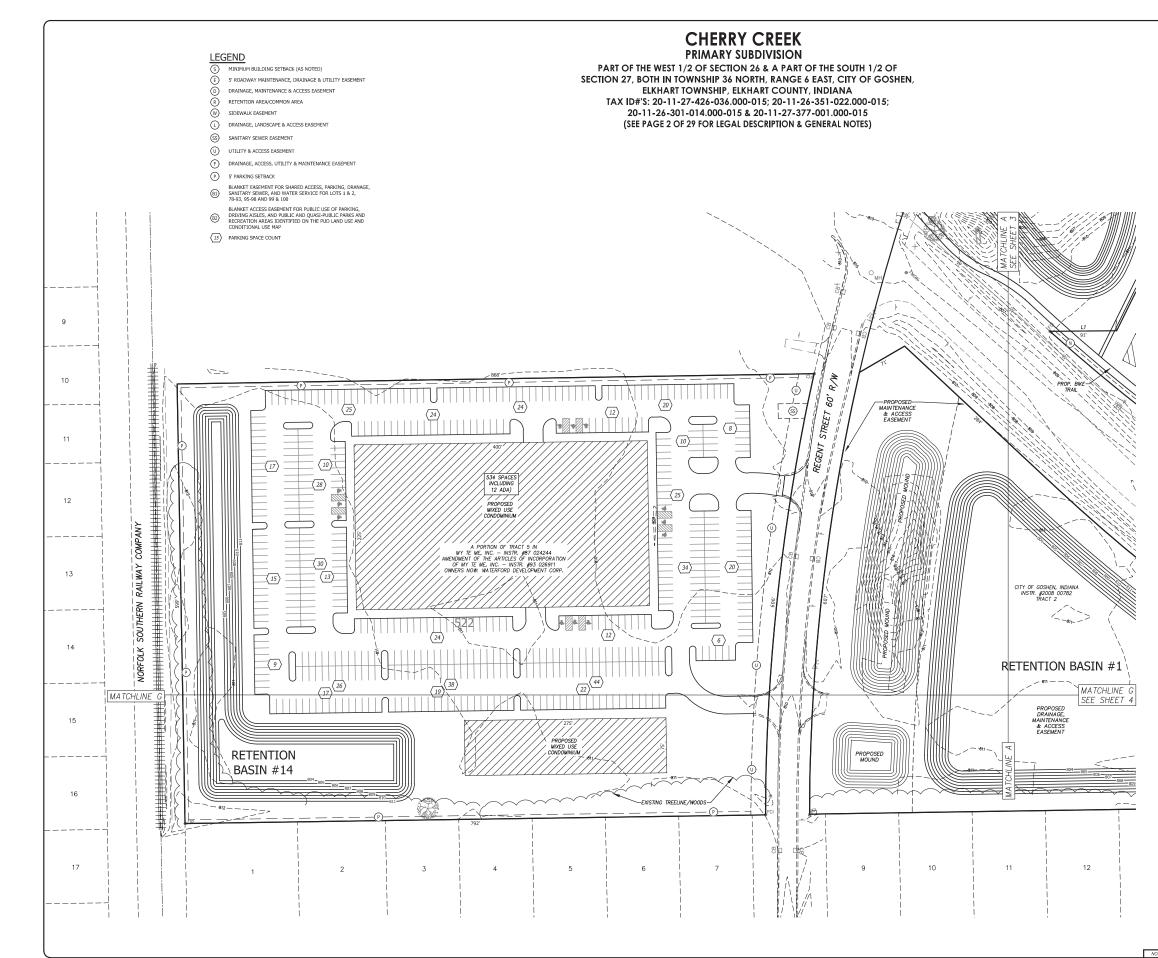


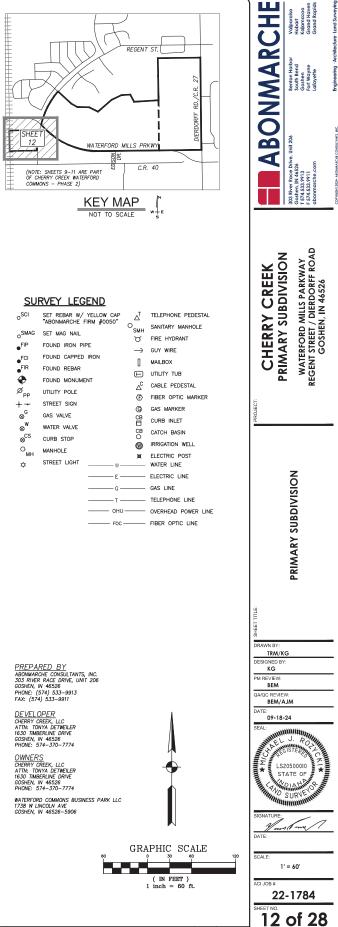














BY: DAT

CHERRY CREEK PRIMARY SUBDIVISION PART OF THE WEST 1/2 OF SECTION 26 & A PART OF THE SOUTH 1/2 OF SECTION 27, BOTH IN TOWNSHIP 36 NORTH, RANGE 6 EAST, CITY OF GOSHEN, ELKHART TOWNSHIP, ELKHART COUNTY, INDIANA TAX ID#'S: 20-11-27-426-036.000-015; 20-11-26-351-022.000-015; 20-11-26-301-014.000-015 & 20-11-27-377-001.000-015 (SEE PAGE 2 OF 29 FOR LEGAL DESCRIPTION & GENERAL NOTES)

	Lot Area (Acres)		Lot Area (SQ FT)	Lot Area (Acres)
7,132	0.16	LOT 81	29,087	0.67
7,418	0.17	LOT 82	20,743	0.48
7,260	0.17	LOT 83	29,663	0.68
7,069	0.16	LOT 84	20,652	0.47
6,920	0.16	LOT 85	30,060	0.69
6,813	0.16	LOT 86	20,528	0.47
7,900	0.18	LOT 87	31,374	0.72
7,655	0.18	LOT 88	20,915	0.48
6,543	0.15	LOT 89	35,478	0.81
6,543	0.15	LOT 90	19,756	0.45
6,543	0.15	LOT 91	32,483	0.75
6,543	0.15	LOT 92	18,298	0.42
6,567	0.15	LOT 93	30,411	0.70
78,361	1.80	LOT 94	13,413	0.31
35,108	0.81	LOT 95	28,443	0.65
8,841	0.20	LOT 96	43,483	1.00
7,100	0.16	LOT 97	29,498	0.68
7,100	0.16	LOT 98	45,834	1.05
7,100	0.16	LOT 99	53,064	1.22
7,100	0.16	LOT 100	28,872	0.66
7,100	0.16	LOT 101	37,390	0.86
7,100	0.16	LOT 102	9,610	0.22
7,030	0.16	LOT 103	9,160	0.21
6,846	0.16	LOT 104	7,484	0.17
6,846	0.16	LOT 105	11,582	0.27
7,514	0.17	LOT 106	5,204	0.12
7,656	0.18	LOT 107	5,143	0.12
6,661	0.15	LOT 108	5,246	0.12
8,209	0.19	LOT 109	5,141	0.12
8,640	0.20	LOT 110	4,861	0.11
27,406	0.63	LOT 111	4,993	0.11
14,181	0.33	LOT 112	4,979	0.11
14,660	0.34	LOT 113	4,948	0.11
14,626	0.34	LOT 114	4,912	0.11
14,134	0.32	LOT 115	6,360	0.15
14,195	0.33	LOT 116	5,125	0.12
34,209	0.79	LOT 117	5,125	0.12
19,376	0.44	LOT 118	5,334	0.12
35,041	0.80	LOT 119	5,342	0.12
22,442	0.52	LOT 120	5,480	0.13

	Lot Area (SQ FT)	Lot Area (Acres)		Lot Area (SQ FT)	Lot Area (Acres
LOT 81	29,087	0.67	LOT 121	5,649	0.13
LOT 82	20,743	0.48	LOT 122	5,888	0.14
LOT 83	29,663	0.68	LOT 123	6,153	0.14
OT 84	20,652	0.47	LOT 124	6,489	0.15
LOT 85	30,060	0.69	LOT 125	6,927	0.16
OT 86	20,528	0.47	LOT 126	7,391	0.17
_OT 87	31,374	0.72	LOT 127	7,725	0.18
_OT 88	20,915	0.48	LOT 128	7,641	0.18
LOT 89	35,478	0.81	LOT 129	7,575	0.17
LOT 90	19,756	0.45	LOT 130	7,426	0.17
LOT 91	32,483	0.75	LOT 131	7,210	0.17
LOT 92	18,298	0.42	LOT 132	7,426	0.17
LOT 93	30,411	0.70	LOT 133	9,726	0.22
_OT 94	13,413	0.31	LOT 134	11,214	0.26
LOT 95	28,443	0.65	LOT 135	13,744	0.32
_OT 96	43,483	1.00	LOT 136	16,310	0.37
_OT 97	29,498	0.68	LOT 137	10,393	0.24
OT 98	45,834	1.05	LOT 138	7,477	0.17
LOT 99	53,064	1.22	LOT 139	5,904	0.14
OT 100	28,872	0.66	LOT 140	5,246	0.12
OT 101	37,390	0.86	LOT 141	4,802	0.11
OT 102	9,610	0.22	LOT 142	4,701	0.11
OT 103	9,160	0.21	LOT 143	8,258	0.19
OT 104	7,484	0.17	LOT 144	12,287	0.28
OT 105	11,582	0.27	LOT 145	6,603	0.15
OT 106	5,204	0.12	LOT 146	6,721	0.15
OT 107	5,143	0.12	LOT 147	6,596	0.15
OT 108	5,246	0.12	LOT 148	6,739	0.15
OT 109	5,141	0.12	LOT 149	6,596	0.15
OT 110	4,861	0.11	LOT 150	6,739	0.15
OT 111	4,993	0.11	LOT 151	6,596	0.15
OT 112	4,979	0.11	LOT 152	6,739	0.15
OT 113	4,948	0.11	LOT 153	6,596	0.15
OT 114	4,912	0.11	LOT 154	6,641	0.15
OT 115	6,360	0.15	LOT 155	6,564	0.15
OT 116	5,125	0.12	LOT 156	8,519	0.20
OT 117	5,125	0.12	LOT 157	8,542	0.20
OT 118	5,334	0.12	LOT 158	6,500	0.15
OT 119	5,342	0.12	LOT 159	6,602	0.15
OT 120	5,480	0.13	LOT 160	6,783	0.16

	Lot Area (SQ FT)	Lot Area (Acres)		Lot Area (SQ FT)	Lot Area (Acres
LOT 161	7,233	0.17	LOT 201	4,875	0.11
LOT 162	7,252	0.17	LOT 202	4,972	0.11
LOT 163	7,119	0.16	LOT 203	5,240	0.12
LOT 164	7,122	0.16	LOT 204	5,216	0.12
LOT 165	7,228	0.17	LOT 205	5,333	0.12
LOT 166	6,955	0.16	LOT 206	5,262	0.12
LOT 167	7,099	0.16	LOT 207	7,025	0.16
LOT 168	9,350	0.21	LOT 208	11,672	0.27
LOT 169	10,687	0.25	LOT 209	5,119	0.12
LOT 170	9,337	0.21	LOT 210	5,153	0.12
LOT 171	8,670	0.20	LOT 211	5,264	0.12
LOT 172	8,204	0.19	LOT 212	5,123	0.12
LOT 173	7,979	0.18	LOT 213	5,366	0.12
LOT 174	7,506	0.17	LOT 214	5,490	0.13
LOT 175	6,971	0.16	LOT 215	5,192	0.12
LOT 176	6,593	0.15	LOT 216	5,171	0.12
LOT 177	8,897	0.20	LOT 217	5,175	0.12
LOT 178	8,304	0.19	LOT 218	5,110	0.12
LOT 179	9,140	0.21	LOT 219	5,109	0.12
LOT 180	9,563	0.22	LOT 220	5,092	0.12
LOT 181	10,688	0.25	LOT 221	7,205	0.17
LOT 182	10,729	0.25	LOT 222	10,538	0.24
LOT 183	11,152	0.26	LOT 223	12,344	0.28
LOT 184	11,762	0.27	LOT 224	6,829	0.16
LOT 185	6,918	0.16	LOT 225	8,049	0.18
LOT 186	6,629	0.15	LOT 226	8,427	0.19
LOT 187	6,795	0.16	LOT 227	6,251	0.14
LOT 188	6,795	0.16	LOT 228	5,746	0.13
LOT 189	6,795	0.16	LOT 229	5,746	0.13
LOT 190	6,795	0.16	LOT 230	5,746	0.13
LOT 191	8,609	0.20	LOT 231	5,746	0.13
LOT 192	7,148	0.16	LOT 232	5,746	0.13
LOT 193	5,052	0.12	LOT 233	6,729	0.15
LOT 194	5,069	0.12	LOT 234	10,786	0.25
LOT 195	5,070	0.12	LOT 235	6,158	0.14
LOT 196	5,134	0.12	LOT 236	6,158	0.14
LOT 197	5,131	0.12	LOT 237	6,158	0.14
LOT 198	5,140	0.12	LOT 238	6,158	0.14
LOT 199	5,461	0.13	LOT 239	6,158	0.14
LOT 200	5,344	0.12	LOT 240	6,158	0.14

	Lot Area (SQ FT)	Lot Area (Acres)			Lot Area (SQ FT)	Lot Area (Acres)
LOT 1	162,431	3.73	LOT	41	7,132	0.16
LOT 2	170,381	3.91	LOT	42	7,418	0.17
LOT 3	10,841	0.25	LOT	43	7,260	0.17
LOT 4	7,174	0.16	LOT	44	7,069	0.16
LOT 5	7,126	0.16	LOT	45	6,920	0.16
LOT 6	7,242	0.17	LOT	46	6,813	0.16
LOT 7	7,267	0.17	LOT	47	7,900	0.18
LOT 8	7,292	0.17	LOT	48	7,655	0.18
LOT 9	7,341	0.17	LOT	· 49	6,543	0.15
LOT 10	7,177	0.16	LOT	50	6,543	0.15
LOT 11	6,467	0.15	LOT	51	6,543	0.15
LOT 12	6,378	0.15	LOT	52	6,543	0.15
LOT 13	6,900	0.16	LOT	53	6,567	0.15
LOT 14	4,658	0.11	LOT	54	78,361	1.80
LOT 15	4,658	0.11	LOT	55	35,108	0.81
LOT 16	4,695	0.11	LOT	56	8,841	0.20
LOT 17	4,695	0.11	LOT	57	7,100	0.16
LOT 18	4,749	0.11	LOT	58	7,100	0.16
LOT 19	4,754	0.11	LOT	59	7,100	0.16
LOT 20	4,717	0.11	LOT	60	7,100	0.16
LOT 21	4,872	0.11	LOT	61	7,100	0.16
LOT 22	5,155	0.12	LOT	62	7,100	0.16
LOT 23	4,947	0.11	LOT	63	7,030	0.16
LOT 24	9,929	0.23	LOT	64	6,846	0.16
LOT 25	6,335	0.15	LOT	65	6,846	0.16
LOT 26	4,872	0.11	LOT	66	7,514	0.17
LOT 27	4,872	0.11	LOT	67	7,656	0.18
LOT 28	4,834	0.11	LOT	68	6,661	0.15
LOT 29	4,846	0.11	LOT	69	8,209	0.19
LOT 30	4,860	0.11	LOT	70	8,640	0.20
LOT 31	4,869	0.11	LOT	71	27,406	0.63
LOT 32	4,697	0.11	LOT	72	14,181	0.33
LOT 33	5,051	0.12	LOT		14,660	0.34
LOT 34	4,955	0.11	LOT		14,626	0.34
LOT 35	4,892	0.11	LOT	75	14,134	0.32
LOT 36	4,997	0.11	LOT	76	14,195	0.33
LOT 37	4,883	0.11	LOT	77	34,209	0.79
LOT 38	6,777	0.16	LOT		19,376	0.44
LOT 39	9,852	0.23	LOT	79	35,041	0.80
LOT 40	6,510	0.15	LOT		22,442	0.52

	Lot Area (SQ FT)	Lot Area (Acres)		Lot Area (SQ FT)	Lot Area (Acres)
LOT 321	7422.00	0.17	LOT 361	8,820	0.20
LOT 322	7422.00	0.17	LOT 362	10,357	0.24
LOT 323	7422.00	0.17	LOT 363	13,929	0.32
LOT 324	7422.00	0.17	LOT 364	14,160	0.33
LOT 325	7307.00	0.17	LOT 365	8,210	0.19
LOT 326	6252.00	0.14	LOT 366	7,554	0.17
LOT 327	6252.00	0.14	LOT 367	7,553	0.17
LOT 328	6252.00	0.14	LOT 368	9,669	0.22
LOT 329	6254.00	0.14	LOT 369	10,698	0.25
LOT 330	6500.00	0.15	LOT 370	7,846	0.18
LOT 331	10515.00	0.24	LOT 371	7,887	0.18
LOT 332	10161.00	0.23	LOT 372	7,887	0.18
LOT 333	10668.00	0.24	LOT 373	7,887	0.18
LOT 334	8426.00	0.19	LOT 374	7,887	0.18
LOT 335	7293.00	0.17	LOT 375	7,887	0.18
LOT 336	8412.00	0.19	LOT 376	7,887	0.18
LOT 337	8295.00	0.19	LOT 377	10,386	0.24
LOT 338	7333.00	0.17	LOT 378	11,672	0.27
LOT 339	7362.00	0.17	LOT 379	6,881	0.16
LOT 340	6743.00	0.15	LOT 380	6,881	0.16
LOT 341	8380.00	0.19	LOT 381	6,881	0.16
LOT 342	10909.00	0.25	LOT 382	6,881	0.16
LOT 343	7259.00	0.17	LOT 383	6,881	0.16
LOT 344	8133.00	0.19	LOT 384	6,881	0.16
LOT 345	8990.00	0.21	LOT 385	6,881	0.16
LOT 346	7355.00	0.17	LOT 386	11,974	0.27
LOT 347	7819.00	0.18	LOT 387	9,946	0.23
LOT 348	7119.00	0.16	LOT 388	6,144	0.14
LOT 349	7099.00	0.16	LOT 389	6,131	0.14
LOT 350	7093.00	0.16	LOT 390	6,034	0.14
LOT 351	7365.00	0.17	LOT 391	6,040	0.14
LOT 352	11532.00	0.26	LOT 392	5,949	0.14
LOT 353	8872.00	0.20	LOT 393	5,970	0.14
LOT 354	6161.00	0.14	LOT 394	5,774	0.13
LOT 355	6161.00	0.14	LOT 395	6,033	0.14
LOT 356	6161.00	0.14	LOT 396	6,231	0.14
LOT 357	6161.00	0.14	LOT 397	6,403	0.15
LOT 358	6205.00	0.14	LOT 398	6,548	0.15
LOT 359	6416.00	0.15	LOT 399	6,644	0.15
LOT 360	6697.00	0.15	LOT 400	6,703	0.15

	Lot Area (SQ FT)	Lot Area (Acres)		Lot Area (SQ FT)	Lot Area (Acre
LOT 401	6,728	0.15	LOT 441	8,306	0.19
LOT 402	6,708	0.15	LOT 442	8,238	0.19
LOT 403	6,662	0.15	LOT 443	8,132	0.19
LOT 404	6,555	0.15	LOT 444	9,428	0.22
LOT 405	6,440	0.15	LOT 445	13,351	0.31
LOT 406	6,286	0.14	LOT 446	12,343	0.28
LOT 407	6,103	0.14	LOT 447	19,986	0.46
LOT 408	5,883	0.14	LOT 448	19,709	0.45
LOT 409	6,302	0.14	LOT 449	13,368	0.31
LOT 410	8,197	0.19	LOT 450	12,194	0.28
LOT 411	9,810	0.23	LOT 451	10,107	0.23
LOT 412	15,154	0.35	LOT 452	12,068	0.28
LOT 413	8,400	0.19	LOT 453	12,244	0.28
LOT 414	7,207	0.17	LOT 454	8,811	0.20
LOT 415	5,192	0.12	LOT 455	8,392	0.19
LOT 416	5,076	0.12	LOT 456	8,458	0.19
LOT 417	5,044	0.12	LOT 457	8,483	0.19
LOT 418	5,074	0.12	LOT 458	8,705	0.20
LOT 419	5,064	0.12	LOT 459	8,669	0.20
LOT 420	5,040	0.12	LOT 460	8,632	0.20
LOT 421	5,050	0.12	LOT 461	9,646	0.22
LOT 422	6,466	0.15	LOT 462	11,260	0.26
LOT 423	6,511	0.15	LOT 463	14,288	0.33
LOT 424	5,059	0.12	LOT 464	6,684	0.15
LOT 425	5,048	0.12	LOT 465	6,420	0.15
LOT 426	5,068	0.12	LOT 466	8,824	0.20
LOT 427	5,096	0.12	LOT 467	7,875	0.18
LOT 428	5,019	0.12	LOT 468	5,262	0.12
LOT 429	5,078	0.12	LOT 469	9,530	0.22
LOT 430	5,021	0.12	LOT 470	7,755	0.18
LOT 431	5,730	0.13	LOT 471	7,723	0.18
LOT 432	9,098	0.21	LOT 472	7,324	0.17
LOT 433	8,938	0.21	LOT 473	8,368	0.19
LOT 434	9,603	0.22	LOT 474	8,440	0.19
LOT 435	16,193	0.37	LOT 475	7,003	0.16
LOT 436	10,975	0.25	LOT 476	6,805	0.16
LOT 437	8,115	0.19	LOT 477	6,784	0.16
LOT 438	8,189	0.19	LOT 478	6,827	0.16
LOT 439	8,281	0.19	LOT 479	11,359	0.26
LOT 440	8,313	0.19	LOT 480	8,146	0.19

	Lot Area (SQ FT)	Lot Area (Acres)
LOT 481	6,609	0.15
LOT 482	7,072	0.16
LOT 483	7,184	0.16
LOT 484	7,828	0.18
LOT 485	9,912	0.23
LOT 486	8,770	0.20
LOT 487	8,478	0.19
LOT 488	8,049	0.18
LOT 489	7,516	0.17
LOT 490	9,414	0.22
LOT 491	5,036	0.12
LOT 492	5,004	0.11
LOT 493	4,866	0.11
LOT 494	7,038	0.16
LOT 495	9,900	0.23
LOT 496	6,239	0.14
LOT 497	8,108	0.19
LOT 498	7,362	0.17
LOT 499	7,358	0.17
LOT 500	6,868	0.16
LOT 501	7,903	0.18
LOT 502	8,812	0.20
LOT 503	7,019	0.16
LOT 504	6,791	0.16
LOT 505	6,481	0.15
LOT 506	6,425	0.15
LOT 507	6,383	0.15
LOT 508	8,527	0.20
LOT 509	13,699	0.31
LOT 510	7,148	0.16
LOT 511	6,708	0.15
LOT 512	7,057	0.16
LOT 513	6,765	0.16
LOT 514	8,024	0.18
LOT 515	8,002	0.18
LOT 516	7,084	0.16
LOT 517	7,139	0.16
LOT 518	7,349	0.17
LOT 519	7,864	0.18
LOT 520	11,862	0.27
LOT 521	6,198	0.14
LOT 522	491,367	11.28

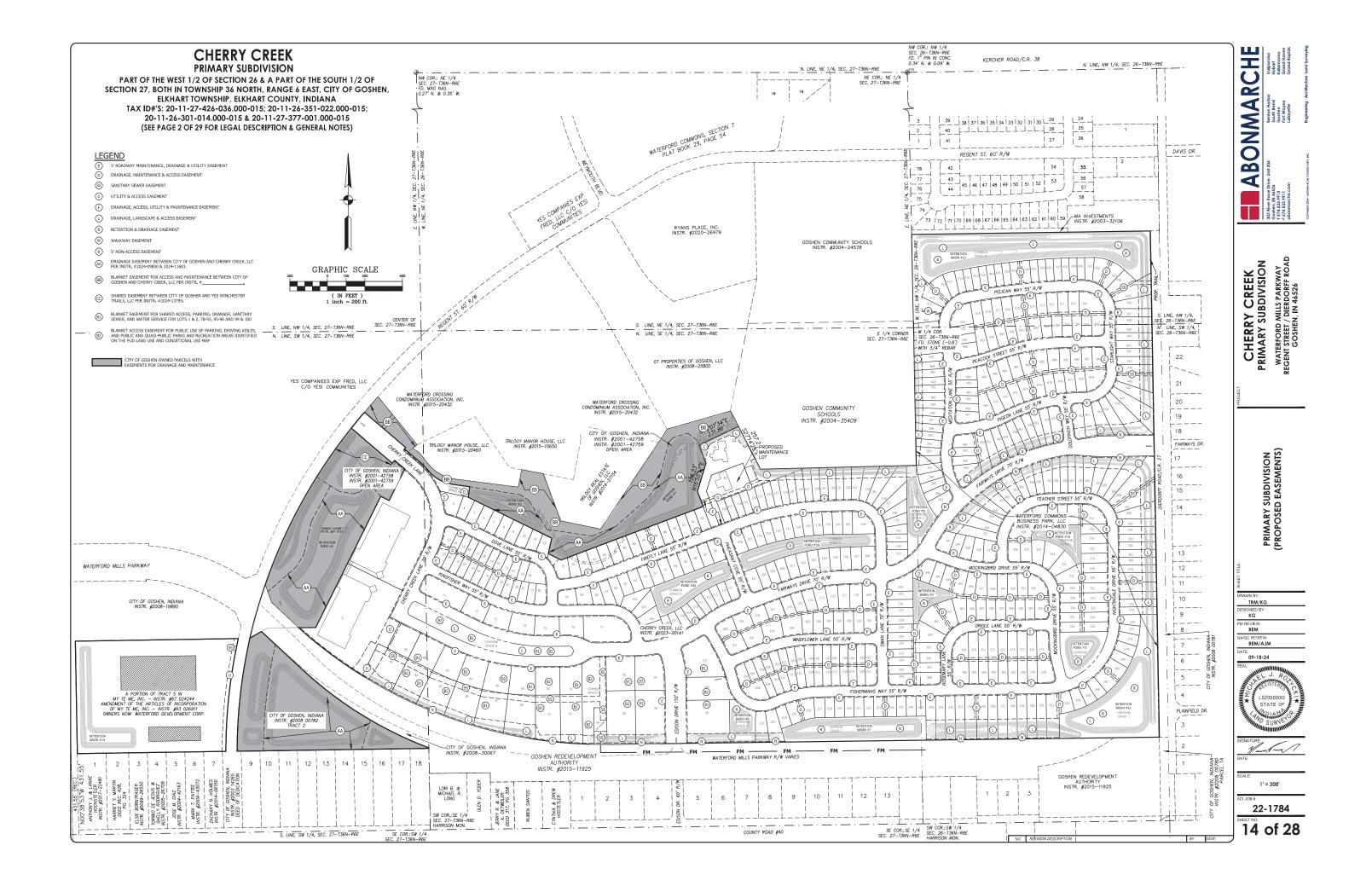
LOT 241		
	6,158	
LOT 242	6,158	
LOT 243	6,158	
LOT 244	6,158	
LOT 245	8,562	
LOT 246	6,755	
LOT 247	5,746	
LOT 248	5,746	
LOT 249	5,746	
LOT 250	12,418	
LOT 251	12,422	
LOT 252	12,425	
LOT 253	12,429	
LOT 254	14,649	
LOT 255	14,520	
LOT 256	12,440	
LOT 257	12,444	
LOT 258	12,447	
LOT 259	12,451	
LOT 260	12,454	
LOT 261	12,458	
LOT 262	16,386	
LOT 263	8,077	
LOT 264	6,703	
LOT 265	6,565	
LOT 266	6,465	
LOT 267	8,915	
LOT 268	8,307	
LOT 269	6,278	
LOT 270	6,272	
LOT 271	6,221	
LOT 272	4,963	
LOT 273	6,157	
LOT 274	8,208	
LOT 275	8,203	
LOT 276	8,197	
LOT 277	9,990	
LOT 278	10,041	
LOT 279	8,178	
LOT 280	8,173	

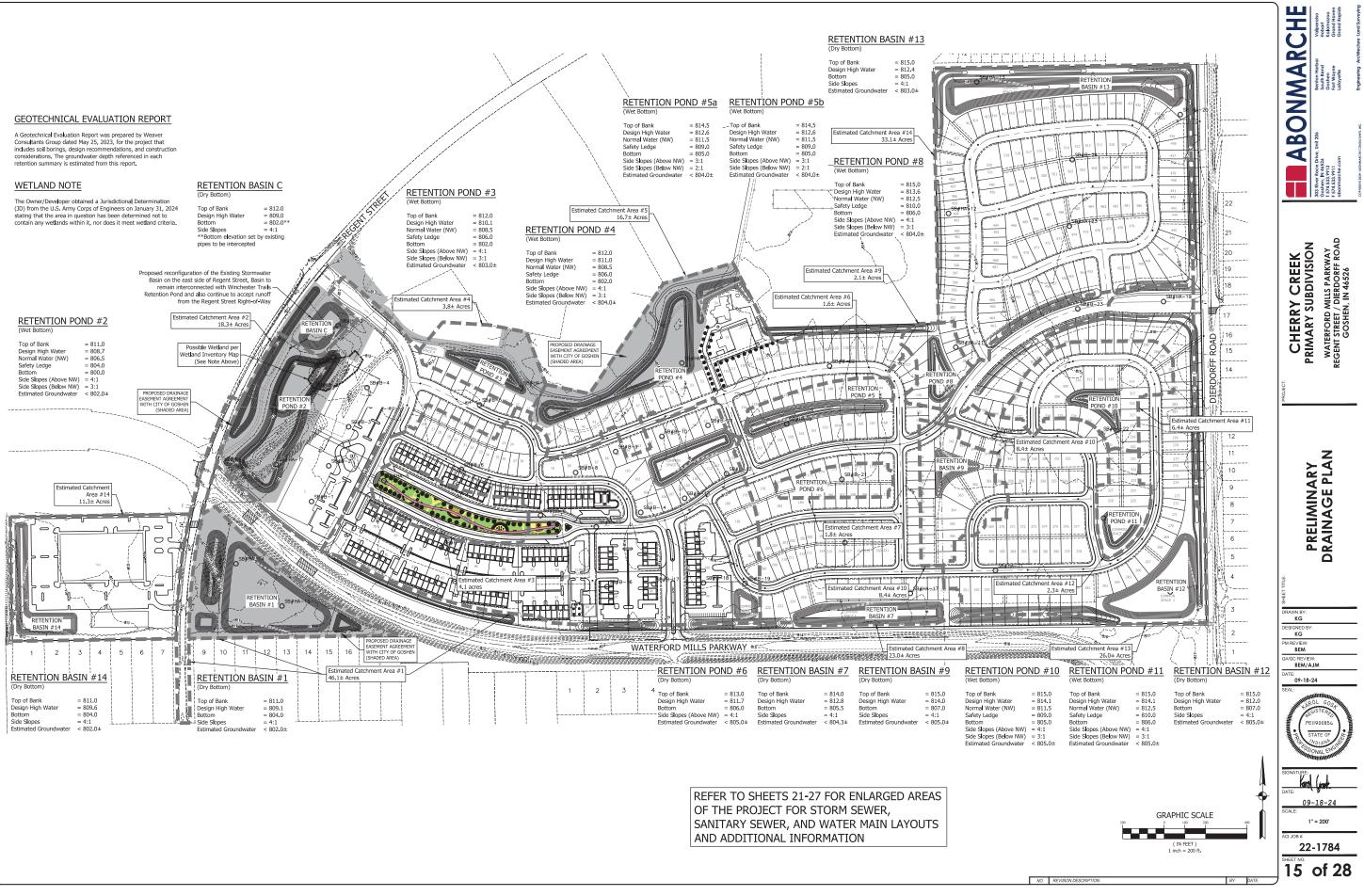
)	Lot Area (Acres)		Lot Area (SQ FT)	Lot Area (Acres)
	0.14	LOT 281	8,167	0.19
Т	0.14	LOT 282	8,162	0.19
Τ	0.14	LOT 283	8,156	0.19
Τ	0.14	LOT 284	8,151	0.19
Т	0.20	LOT 285	8,194	0.19
Т	0.16	LOT 286	13,009	0.30
Т	0.13	LOT 287	17,180	0.39
Т	0.13	LOT 288	24,489	0.56
Τ	0.13	LOT 289	16,765	0.38
Τ	0.29	LOT 290	13,756	0.32
Т	0.29	LOT 291	12,121	0.28
Т	0.29	LOT 292	10,868	0.25
Τ	0.29	LOT 293	8,457	0.19
Т	0.34	LOT 294	8,455	0.19
Τ	0.33	LOT 295	8,321	0.19
Τ	0.29	LOT 296	8,031	0.18
Т	0.29	LOT 297	9,766	0.22
Т	0.29	LOT 298	7,554	0.17
Т	0.29	LOT 299	8,548	0.20
T	0.29	LOT 300	7,790	0.18
Τ	0.29	LOT 301	8,161	0.19
Τ	0.38	LOT 302	8,064	0.19
Т	0.19	LOT 303	9,458	0.22
Т	0.15	LOT 304	10,481	0.24
Τ	0.15	LOT 305	11,916	0.27
Т	0.15	LOT 306	13,019	0.30
Τ	0.20	LOT 307	13,881	0.32
Τ	0.19	LOT 308	9,853	0.23
	0.14	LOT 309	8,026	0.18
Τ	0.14	LOT 310	7,707	0.18
Τ	0.14	LOT 311	5,967	0.14
	0.11	LOT 312	5,902	0.14
Ι	0.14	LOT 313	8,000	0.18
Τ	0.19	LOT 314	12,442	0.29
T	0.19	LOT 315	7,420	0.17
	0.19	LOT 316	7,422	0.17
Τ	0.23	LOT 317	7,422	0.17
T	0.23	LOT 318	7,422	0.17
	0.19	LOT 319	7,422	0.17
Τ	0.19	LOT 320	7,708	0.18

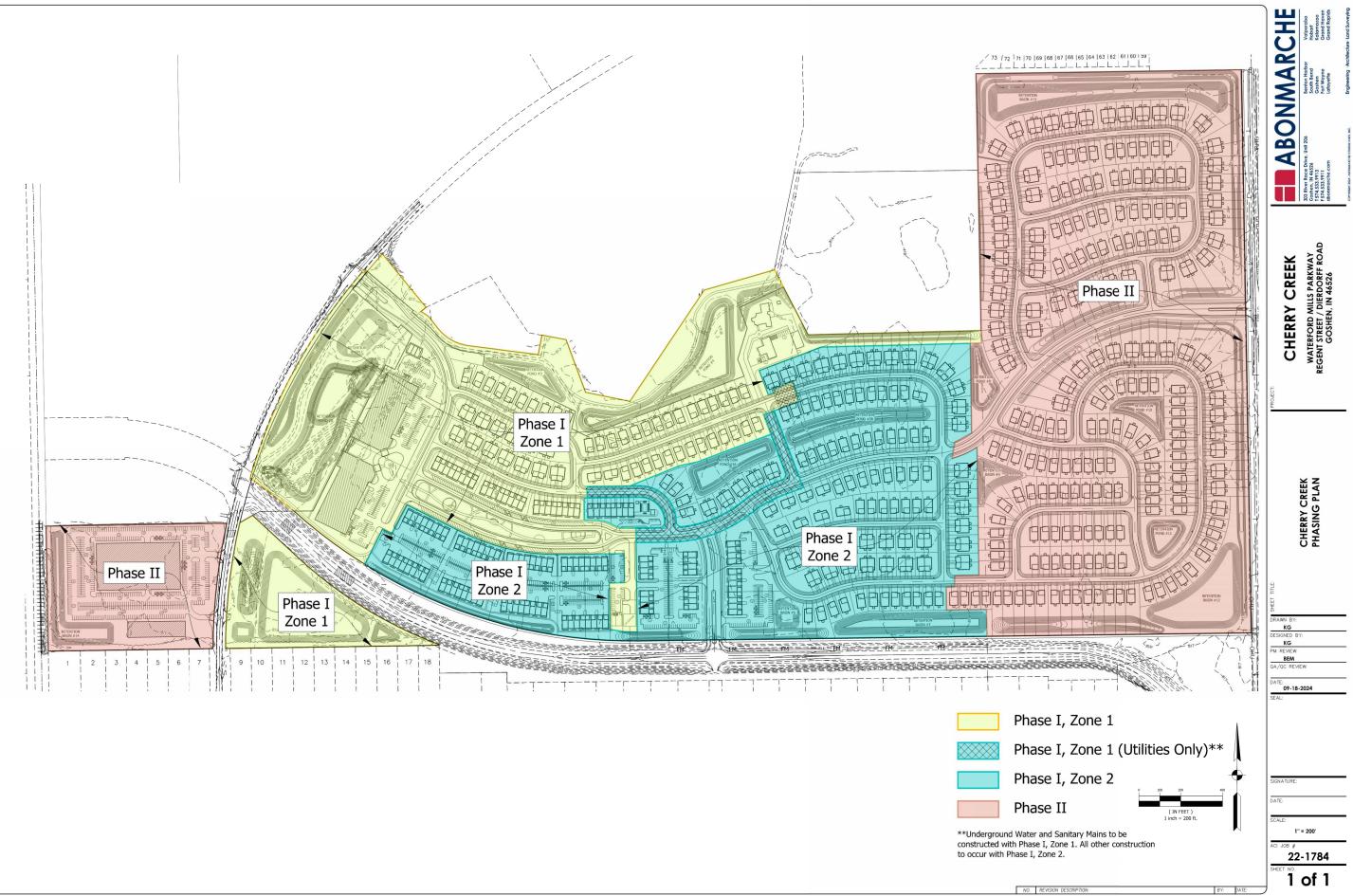
PRIMARY SUBDIVISION PRIMARY SUBDIVISION WATERFORD MILLS PARKWAY REGENT STREET / DIERDORFF ROAD GOSHEN, IN 44524	IVISION IVISION REGENT STREET / DIERDORFF ROAD GOSHEN, IN 46526	MARCHE	Benton Harbor Valparaiso South Bend Hobart Gosthen Kalamazoo Fort Wayne Grand Haven Lafayette Grand Rapids	Provide a subject of the set
IVISION			303 River Race Drive, Unit 206 Gohen, IN 44528 1 574, 353, 991 F 574, 353, 991 dommarche, com	
PRIMARY SUBDIVISION			WATERFORD MILLS PARKWAY REGENT STREET / DIERDORFF ROAD GOSHEN, IN 46526	
	DRAWN BY: TRM/KG DESIGNED BY: KC MM REVIEW: BEM DAI'DC REVIEW: BEM. DAI'DC REVIEW: DAI'DC REVIEW:		PRIMARY SUBDIVISION	

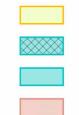
NO. REVISION DESCRIPTION:

BY: DATE:









Cherry Creek PUD - Land Use and Conditional Use Map

LEGEND

- Single-Family Residential (Detached and Attached Units)
- Multi-Family: Townhome Style
- Multi-Family: Townhome Style / Mixed Use
- Multi-Family: Townhome Style / Mixed Use (Commercial Kitchens Allowed)
- Multi-Family: Condominium Style / Mixed Use
- Commercial (Showroom and Maintenance Building)
- Public and Quasi-Public Parks and Recreation

CONDITIONAL USES

- Allow structures for Pickleball / Tennis Courts (Quasi-1 Public) to be located on the same lot as and within 50 feet of a residential use building.
- Allow Non-Permanent Food Vendors ("food trucks") 2 on multi-family condominium / mixed use lots in designated areas.
- Allow structures for Community Centers and Childcare 3 Centers to be located on the same lot as and within 50 feet of a residential use building.
- 4 Allow structures for Parks and Playgrounds to be located on the same lot as and within 50 feet of a residential use building.
- **5** Allow structures and equipment for Swimming Pools (Quasi-Public) to be located on the same lot as and within 50 feet of a residential use building.



Cherry Creek PUD - Exhibit G. Active Transportation Network

LEGEND

- 10-foot Biking & Walking Trail
- ----- Sidewalk / Pedestrian Space



То:	Goshen City Plan Commission/Goshen Common Council
From:	Rhonda L. Yoder, Planning & Zoning Administrator
Subject:	24-02MA, PUD Major Change & PUD Preliminary Site Plan Cherry Creek PUD
Date:	October 15, 2024

ANALYSIS

Cherry Creek, LLC, Waterford Commons Business Park, LLC, City of Goshen, and Abonmarche Consultants request a PUD major change and PUD preliminary site plan approval for changes to Cherry Creek PUD, a mixed use residential/commercial development, zoned Residential R-3PUD (Planned Unit Development). The Cherry Creek PUD is ±235 acres, including adjacent right of way and parcels intended for right of way, generally located west of Dierdorff Road, north of Waterford Mills Parkway, east of Regent Street, and south of Waterford Mills Parkway on both sides of Regent Street. The Cherry Creek PUD major change/PUD preliminary site plan proposes:

- New mixed use townhome style buildings in place of some mixed use condo style buildings, with shared access across multiple lots;
- Conditional Uses of pickleball/tennis courts, community centers, child care centers, parks/playgrounds, and swimming pools located on the same lot as a residential use without screening and with no minimum setback for buildings/structures adjacent to residential use/zoning;
- Non-permanent food vendors (food trucks) allowed in mixed use areas with no Conditional Use permit, only during Cherry Creek approved events, with electrical hookups provided and no generators;
- Bollard style light fixtures added along walkways, trails and in common spaces;
- Entrance signs updated and a new interior freestanding sign added;
- Typical landscaping exhibits added to PUD (no change to standards); and
- Active transportation network updated.

The Cherry Creek PUD was established in December 2023 by Ordinance 5173 (copy of text enclosed). The current request is to amend the original PUD and adopt a new PUD preliminary site plan. The Cherry Creek PUD is a mixed use residential/commercial development with ± 180 acres (excluding City of Goshen land and existing right of way), with the current update proposing:

- ±88 acres single unit residential lots (detached and attached units)
- ± 38 acres mixed use buildings with residential units & commercial space
- ± 0.8 acres maintenance lot
- ± 0.3 acres lift station lot
- ± 21 acres common spaces, including recreation areas and drainage areas
- $\pm 32 \text{ acres} \text{right of way (to be dedicated)}$

When a PUD is developed, it contains specific use and developmental requirements that are in addition to, or in place of, the underlying zoning district requirements. A PUD is always tied to a site plan, with a PUD preliminary site plan adopted when a PUD is established or modified, and a detailed PUD final site plan reviewed as development occurs. Changes to a PUD are defined by the Zoning Ordinance, and may be minor or major. Major changes include those that change use, character or intensity of the development, and those that increase traffic or utility issues, reduce parking, or encroach into required setbacks. Changing stated conditions of a PUD are also typically major changes. PUD major changes and PUD preliminary site plans require review as a public hearing at Plan Commission, with final approval by Council. As a PUD develops, the original PUD conditions remain in place unless specifically changed. A PUD is intended to provide unified development, streamline the review process, and provide flexibility based on specific site conditions.

Items enclosed for reference include *Development Project Overview* (pages 3-12); Exhibit E, typical landscaping; Exhibit G, Active Transportation Network; and Exhibit K, preliminary PUD drawings, Sheets 1-3.

24-02MA

Townhome Lots Shared Access

The current amendment proposes a new, three-story townhome style building with four attached structures and a possible total of 12 units, with each unit on a single story. Some townhomes would be residential only and some are proposed with commercial on the first floor and residential on the second and third floors. Townhomes are proposed in place of six condo buildings in the southwest section of the main development. The townhome use is permitted by the existing Cherry Creek PUD, but the townhome lots propose shared access across multiple lots, which requires approval.

Conditional Uses & Food Trucks

In addition to the uses permitted and prohibited by Ordinance 5173, the current amendment proposes to allow Conditional Uses (CU) of pickleball/tennis courts, community centers, child care centers, parks/playgrounds, and swimming pools located on the same lot as a residential use without screening and with no minimum setback for buildings/structures adjacent to residential use/zoning. CU are uses which are allowed if additional requirements are met, and are reviewed administratively if all requirements are met. This is a reasonable request based on the mixing of commercial and residential uses.

The current amendment also proposes to allow non-permanent food vendors (food trucks) in mixed use areas with no Conditional Use permit, only during Cherry Creek approved events, with electrical hookups provided and no generators. This approval would allow food trucks only at approved events and not general vending. Licensed food vendors would receive a written invitation from Cherry Creek for an event.

Lighting

The current amendment proposes an additional lighting type, with bollard style light fixtures added along walkways, trails and in common spaces.

Signs

The current amendment proposes updates to the entrance signs and a new interior freestanding sign on the plaza near the two condo buildings in the main development, as detailed on pages 8-10 of the *Development Project Overview* document. Signs as proposed are consistent with the existing Cherry Creek PUD.

Landscaping

The current amendment includes typical landscaping in Exhibit E with no change to standards. The typical landscape exhibits will be incorporated into the PUD amendment to provide guidance on general placement. Detailed landscape plans will be required as part of any PUD final site plan. The partial landscaping options approved as part of Ordinance 5173 remain in place.

Sidewalks & Trails

Based on the modified PUD preliminary site plan, an updated Active Transportation Network layout has been provided, Exhibit G, and will replace the exhibit in Ordinance 5173.

PUD Preliminary Site Plan (Exhibit K)

The updated PUD preliminary site plan for Cherry Creek PUD is shown in Exhibit K, and is consistent with the approved Cherry Creek PUD, except as modified by the current major change. PUD preliminary site plan approval is a conceptual site plan approval, and PUD final site plan review, including landscaping and lighting plans, is required as the development progresses. PUD final site plan applications are submitted as part of the City's administrative site plan review, Technical Review, and may be reviewed by Staff on behalf of the Plan Commission. Subdivision review is a separate process.

RECOMMENDATIONS

Staff recommends the Plan Commission forward a favorable recommendation to Goshen Common Council for the PUD major change and PUD preliminary site plan, based upon the following:

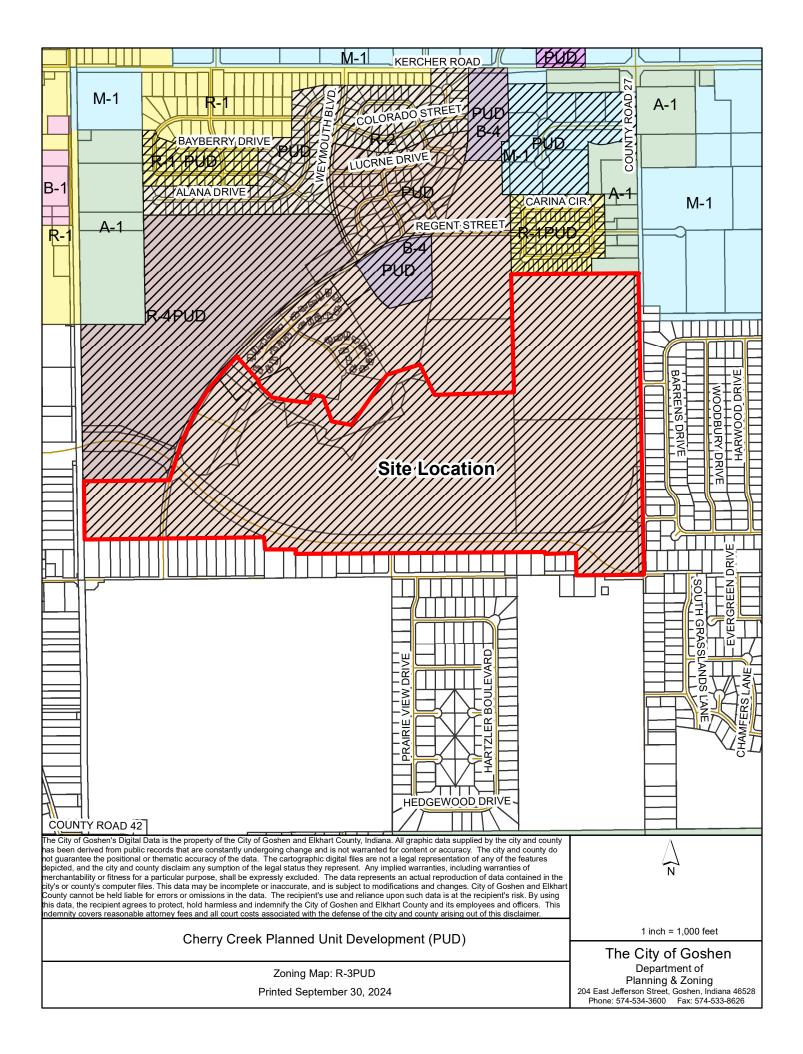
1. The proposed major change and preliminary site plan are consistent with the approved Cherry Creek PUD.

The recommendation includes the following PUD standards for the major change ordinance:

- 1. The PUD major change approves the following:
 - Shared access across multiple lots for townhome style buildings;
 - Conditional Uses of pickleball/tennis courts, community centers, child care centers, parks/playgrounds, and swimming pools located on the same lot as a residential use without screening and with no minimum setback for buildings/structures adjacent to residential use/zoning;
 - Non-permanent food vendors (food trucks) allowed in mixed use areas with no Conditional Use permit, only during Cherry Creek approved events, with electrical hookups provided and no generators;
 - Bollard style light fixtures added along walkways, trails and in common spaces;
 - Entrance signs updated and a new interior freestanding sign added;
 - Typical landscaping per Exhibit E (no change to existing Cherry Creek standards); and
 - Active Transportation Network updated per Exhibit G.
- 2. Except as modified by specific PUD conditions, the approved PUD preliminary site plan is *Cherry Creek*, *Planned Unit Development*, *Sheets 1-3*, dated 09-18-24, by Abonmarche Consultants, Inc., and for reference the preliminary land use map, dated 9/18/2024.

Review process conditions include:

- 1. The overall primary subdivision, and the secondary subdivision for each phase, shall be reviewed and approved before development occurs, excluding earth work with an approved permit.
- 2. A PUD final site plan application, including landscaping and lighting plans, shall be submitted with each subdivision phase, for review by Staff on behalf of Plan Commission. Each PUD final site plan shall be approved prior to a zoning clearance form/building permit being issued.
- 3. Site plan approval by Goshen Engineering is required for site drainage, post construction, site utilities and right-of-way access, as applicable, before a zoning clearance/building permit is issued.
- 4. The Goshen Fire Department shall approve the plan for fire protection (including hydrant placement and access) as part of PUD final site plan approval.



A SET REBAR WITH CAP STAMPED BRADS-KO 0041; THENCE NORTH 51 DEGREES 06 MINUTES 21 SECONDS EAST, A DISTANCE OF 30.92 FEET TO THE AFOREMENTIONED POINT OF BEGINNING, CONTAINING 2.663 ACRES, MORE OR LESS.

The Cherry Creek PUD includes the following specific PUD standards:

- 1. Except as modified by specific PUD conditions, the approved PUD preliminary site plan is *Cherry Creek Planned Unit Development, Sheets 1-12,* dated 10-30-2023, by Abonmarche Consultants, Inc., incorporated as Exhibit C.
- 2. Cherry Creek PUD is a mixed use, residential and commercial development, and permitted and conditional uses will follow the R-3 District and the B-2 District, with the following exceptions:
 - Restaurants with drive-through permitted;
 - Landscaping companies (non-retail) permitted;
 - Bus terminals prohibited;
 - Gas stations prohibited;
 - Land reclamation projects prohibited.
- 3. Maximum residential unit density will be calculated using the overall Cherry Creek area, including common areas but excluding public right of way.
- 4. Sidewalks and trails will be installed generally per Exhibit B, Active Transportation Network, with final locations determined during subdivision review. In phase two, the trail along the north property line, adjacent to Villas at Waterford Commons Second, should be relocated south of the berm/landscaping.
- 5. Minimum parking requirements will be calculated as follows:
 - One vehicle space per 400 square feet of commercial gross floor area;
 - Two bicycle spaces per 10,000 square feet of commercial gross floor area;
 - Stacking spaces for drive through uses per the Zoning Ordinance;
 - No minimum parking for common area uses;
 - Residential parking per the Zoning Ordinance; and
 - On street parking spaces included in total space count for provided parking.
- 6. Partial landscaping will be implemented with two options, option one following the Zoning Ordinance formula and option two an undulating berm with one evergreen tree for every 25' of applicable lot line, with grouped planting.
- 7. Maximum building length up to 400' is permitted for mixed use buildings.
- 8. Signs will generally follow the PUD sign plan in Exhibits A and A-1. Signs for phase two mixed-use buildings will follow signs as proposed for the phase one mixed use buildings. Changes to the sign plan shall be reviewed by the Plan Commission as a minor change.
- 9. For mixed use buildings, lighting shall be directed down and away from adjacent residential properties, and shall minimize illumination, glare or reflection onto adjacent residential properties, with a lighting plan required as part of the PUD final site plan submittal.
- 10. Lot size, lot width, building height, building coverage and setbacks are not subject to specific standards, but provided lot size, lot width, setbacks and building coverage must ensure adequate space to meet all developmental requirements, such as landscaping and parking, and to maintain access for all services (fire protection, utilities, mail delivery, trash collection, for example).

PASSED by the Common Council of the City of Goshen of	Dec. 4, ,202
4	ling Officer
Attest:	

Richard R. Aguirre, Clerk-Treasurer

DEVELOPMENT PROJECT OVERVIEW

UPDATE/REWRITE: List of Amenities

Amenities planned at this time include pickleball courts, dog park, neighborhood swimming pool, community center, park and recreations spaces, a pavilion and large open space, wide walking and biking path connected to the city trail to get downtown, numerous ponds with fountains, fitness center, childcare, retail, bank, and restaurants.

UPDATE: LAND USE SUMMARY

Acreage by Land Use	
Single-Family Residential Lots	88 Acres +/- (43%)
Multi-Family Mixed Use Lots	38 Acres +/- (18%)
Commercial (Showroom and Maintenance Lot)	0.8 Acre +/- (0.4%)
Utility / Lift Station	0.3 Acre +/- (0.2%)
Common Spaces (Cherry Creek)	21 Acres +/- (10%)
Owned by City of Goshen	24 Acres +/- (12%)
Right of Way	33 Acres +/- (16%)
Total	204 Acres +/- (100%)

UPDATE/NEW:

Residential Units by Building Type	
Single-Family	487 Units
Single-Family Detached	255 Units
Single-Family Attached	232 Units
Multi-Family	731 units
Townhome Style	96 Units
Townhome Style / Mixed Use	184 Units
Condominium Style / Mixed Use	451 Units
Total Residential Units	1,218 Units
Residential Density	8 Units per Acre
(Calculated using the overall Cherry Creek	
area, including Common Spaces, but excluding	
public right-of-way.)	

UPDATE/NEW: A mix of commercial uses are anticipated to be located on the first floors of the Townhome Style and Condominium Style mixed-use buildings.

Commercial Space	
Townhome Style / Mixed Use	81,903 Square Feet
Condominium Style / Mixed Use	76,771 Square Feet
Total	158,674 Square Feet

NEW: CONDITIONAL USES

Cherry Creek will allow structures for the following proposed conditional uses to be located on the same lot as and within 50 feet of a residential use building.

- Pickleball / Tennis Courts (Quasi-Public)
- Community Centers and Childcare Centers
- Parks and Playgrounds (including Dog Park)
- Swimming Pools (Quasi-Public)

The development will also allow Non-Permanent Food Vendors ("food trucks") on multi-family condominium / mixed use lots. Food trucks will be allowed only in designated areas of the parking lots next to the condominium / mixed use buildings on Lots 1 and 2 and only during Cherry Creek-approved events. The maximum number of food trucks during any one event is 10. Electrical hook-ups will be provided, eliminating the need for individual generators.

See map on the following page for proposed land use and conditional use locations.

DRAFT 9/18/2024

Cherry Creek PUD - Land Use and Conditional Use Map



CONDITIONAL USES

- Allow structures for Pickleball / Tennis Courts (Quasi-Public) to be located on the same lot as and within 50 feet of a residential use building.
- Allow Non-Permanent Food Vendors ("food trucks") on multi-family condominium / mixed use lots in designated areas.
- Allow structures for Community Centers and Childcare Centers to be located on the same lot as and within 50 feet of a residential use building.
- Allow structures for Parks and Playgrounds to be located on the same lot as and within 50 feet of a residential use building.
- Allow structures and equipment for Swimming Pools (Quasi-Public) to be located on the same lot as and within 50 feet of a residential use building.



EASEMENTS

UPDATE/REWRITE:

- Stormwater drainage easements granted by the City of Goshen for benefit to Cherry Creek LLC to construct and maintain retention ponds and basins on City owned property for the proposed project as outlined in the approved development agreement.
- Stormwater drainage easements within proposed Lots and Common Spaces containing retention in Cherry Creek PUD granted by Cherry Creek LLC for benefit to the City of Goshen to maintain storm sewer discharge pipes.
- Access and maintenance easements granted by the City of Goshen for benefit to Cherry Creek LLC on City owned property included in the Cherry Creek PUD as outlined in the approved development agreement.
- Access, drainage, landscape, and maintenance easements established across individual lots within the Cherry Creek subdivision plat for Cherry Creek LLC to construct and maintain stormwater management systems, landscaping and mounding, and to perform general maintenance.
- Access easements granted by Cherry Creek LLC for benefit to the City of Goshen and public for non-dedicated trails in Cherry Creek.
- Utility easements adjacent to public right-of-way where specified on the subdivision plat.

NEW:

- Sanitary sewer easement from Cherry Creek LLC to City of Goshen.
- Access easement from Cherry Creek LLC to City of Goshen to access lift station on lot 94.
- Access and utility easement across Lots 54 and 55 for shared drive.
- Blanket Easement for Shared Access, Parking, Drainage, Sanitary Sewer, and Water Service for lots 1&2, 78-93, 95-98, and 99&100.
- Blanket Access Easement for public use of parking, driving aisles, and public and quasipublic parks and recreation areas identified on the PUD Land Use and Conditional Use Map.

UPDATE: PROJECT PHASING

Proposed Mix Phase 1:	
Single-Family Detached	Up to 110 Units, including single-family residence
Single-Family Attached	Up to 110 Units
Multi-Family, Townhome Style	Up to 100 Units
Multi-Family, Townhome Style / Mixed Use	Up to 190 Units and 82,000 square feet commercial space
Multi-Family, Condominium Style / Mixed Use	Up to 170 Units (in 2 buildings) and 77,000 square feet commercial space
Showroom and Maintenance Lot	1 Showroom (1,280 square feet) with attached Maintenance Barn (4,000 square feet)
Proposed Mix Phase 2:	
Single-Family Detached	Up to 160 Units
Single-Family Attached	Up to 135 Units
Multi-Family, Condominium Style / Mixed Use	Up to 290 Units (in 2 buildings) and 50,000 square feet commercial space

UPDATE/REWRITE: ALLOWABLE USES ON COMMON SPACES AND MIXED USE LOTS

Amenities planned at this time include pickleball courts, dog park, neighborhood swimming pool, community center, park and recreations spaces, a pavilion and large open space, wide walking and biking path connected to the city trail to get downtown, numerous ponds with fountains, fitness center, childcare, retail, bank, and restaurants.

UPDATE: PARKING SUMMARY

Proposed Number of Parking Spaces		Includes ADA Spaces
SF Garages	974	
MF Garages (Townhome Style)	248	
MF Garages (Condominium Style)	178	
Mixed Use Lots	1,179	49
On-Street	111	4
Showroom and Maintenance Lot	10	1
Total	2,700	54

UPDATE: Car parking required based on Cherry Creek standards is 2,634.

NEW: Cherry Creek will provide parking spaces for golf carts, located strategically near amenities, services, and retail. The standard size of these spaces will be 8 feet by 10 feet.

NEW: Parking spaces will be provided for horse and buggy use. All horse and buggy parking spaces will meet City of Goshen standards, and the design details will be provided with the construction plans and maintenance will be address in the PSSMP.

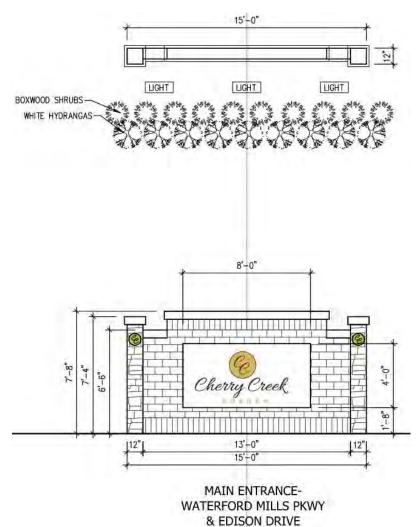
LIGHTING

PRIVATE LIGHTING

NEW: Bollard-style light fixtures designed for pedestrians will be allowed along walkways and trails in the Common Spaces of Cherry Creek.

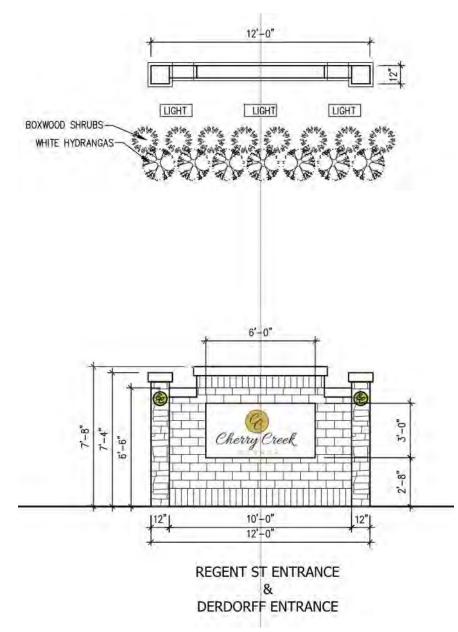
Outdoor centralized mailbox units may be illuminated by light fixtures located under the shelter roof such that light does not impact adjacent residential uses. One freestanding light will also be allowed adjacent to the mailbox structure to provide additional illumination.

SIGNAGE



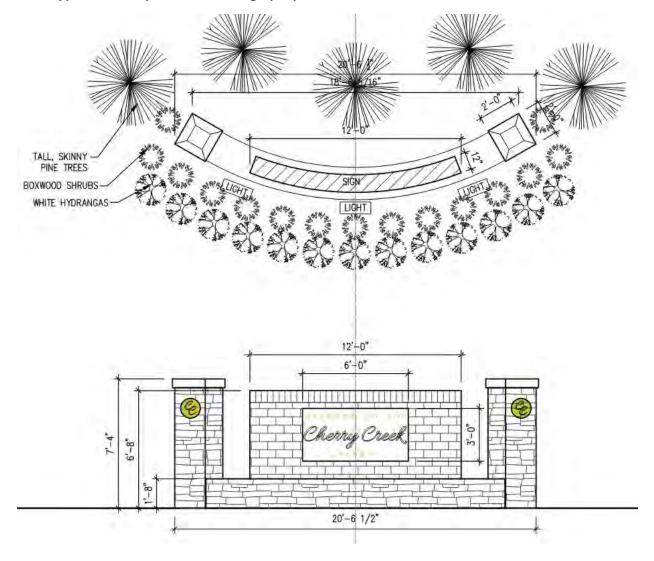
UPDATE: Prototype for Main Entrance Sign (F-1)

UPDATE: Prototype for Secondary Entrance Signs (F-2)



NEW: F-5 MONUMENT-STYLE, FREESTANDING SIGN – CHERRY CREEK PLAZA

One monument-style, freestanding sign will be installed within a landscaped plaza by the two main condominium buildings, facing Cherry Creek Lane. The sign face is proposed to be 3 feet high and 6 feet wide, up to 18 square feet. The sign will follow City of Goshen requirements for landscaping around a freestanding sign and will have exterior illumination from spotlights that will be focused directly on the sign face. Proposed location for this sign is shown on the Site Plan (Exhibit K).



Prototype for Cherry Creek Plaza Sign (F-5)

LANDSCAPE

UPDATE/REWRITE: STREETSIDE TREE CALCULATIONS

Using the standard of 1 canopy tree per 40 feet of street frontage less and excepting the width of access drives, up to a maximum of 24 feet in width, it was calculated that 1,026 trees were needed for this project (including street trees on Waterford Mills Parkway and Dierdorff Road). As described in the single-family sections above, we have requested 1 canopy tree per unit to meet the streetside requirement. This request is based on the determination that due to the proximity of driveways, potential conflicts with underground utilities, and limited planting space, it may not be practical or beneficial for the health of the tree to plant a tree every 40 feet in the tree lawn in these sections of the development. If the requested planting ratio creates an overall deficit of trees for the project, we propose to plant the required additional trees in landscaped areas throughout the development or as additional streetside trees in the right-of-way. This solution will ensure that the total number of trees in the project meets the city standard but in a manner that reduces potential conflicts.

The 1 canopy tree per 40 feet of street frontage less and excepting the width of access drives, up to a maximum of 24 feet in width has not changed from the original submission.

SINGLE-FAMILY RESIDENTIAL DEVELOPMENT STANDARDS

UPDATE/REWRITE: MAIL DELIVERY

Mail to single-family residences will be delivered to a central mailbox unit. The proposed unit for Phase 1 single-family residences is approximately 4 feet deep, 10 feet wide, and 6 feet tall. The unit is proposed to be enclosed within a 3-sided structure with a roof. The proposed location of the mailbox unit is to the east of the pickleball courts on Lot 1. This location was selected for ease and safety of access by both vehicular and pedestrian traffic. The location and construction specifications will need to be approved by the US Postal Service before secondary plat approval.

MIXED-USE AND MULTI-FAMILY DEVELOPMENT STANDARDS

NEW: TYPICAL CONSTRUCTION SPECIFICATIONS

Cherry Creek will offer multi-family residential uses in three building types:

- <u>Townhome Style</u> will be 3-story buildings with residential units on all 3 stories. Each unit will be on a single story. The first-story units will be 1-bedroom units. All other units will be 3-bedroom units.
- <u>Townhome Style / Mixed Use</u> will be 3-story buildings with residential units on the top 2 stories and commercial space on the first story. Each unit will be on a single story. All residential units will be 3-bedroom units.
- <u>Condominium Style / Mixed Use</u> will be 4-story buildings with commercial uses on the first story and a mix of 1-, 2-, and 3-bedroom units on the top 3 stories.

The ownership structure of the multi-family residential units has not been finalized but will likely be a mix of both owner-occupied and renter-occupied units.

PARKING

NEW: Some multi-family residential buildings will include partial parking allotment in an interior parking garage. Each Townhome Style building (either with or without mixed use) will include 2 parking spaces on the first floor, one for each unit on the second and third story. Condominiums on Lots 1 and 2 will have up to 100 parking spaces each on the first floor of the building reserved for tenants.

UPDATE/REWRITE: MAIL DELIVERY

Mail will be delivered to a common mail area inside each mixed use or multi-family building.

MAINTENANCE LOT DEVELOPMENT STANDARDS

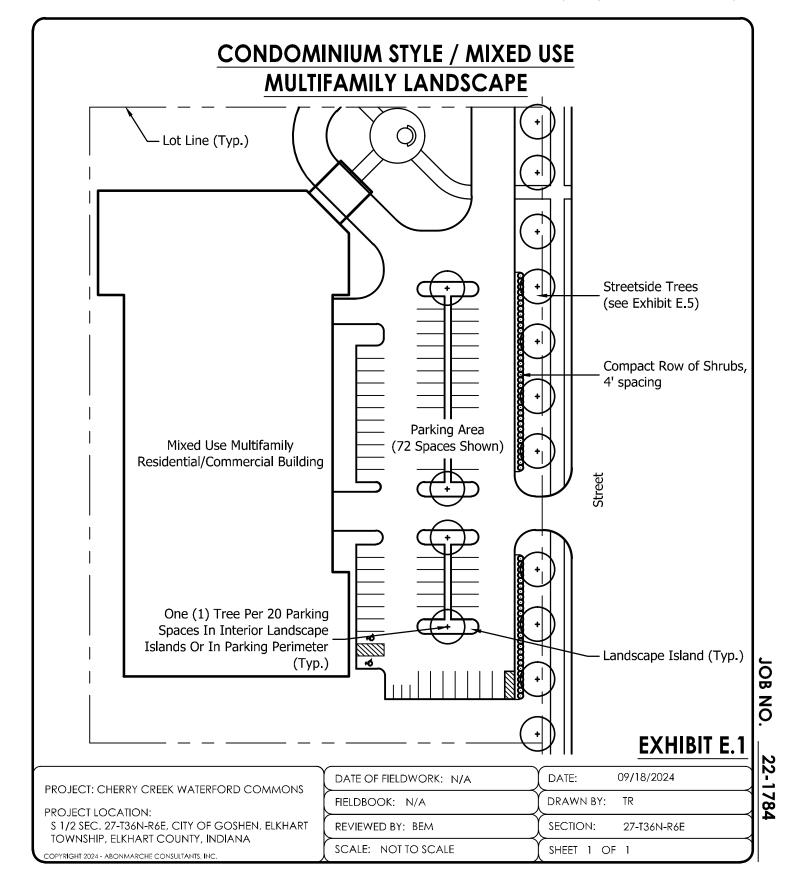
UPDATE/REWRITE: MAIL DELIVERY

Mail to the Showroom Office and Maintenance Building will be delivered to a central mailbox unit, shared with single-family residences.

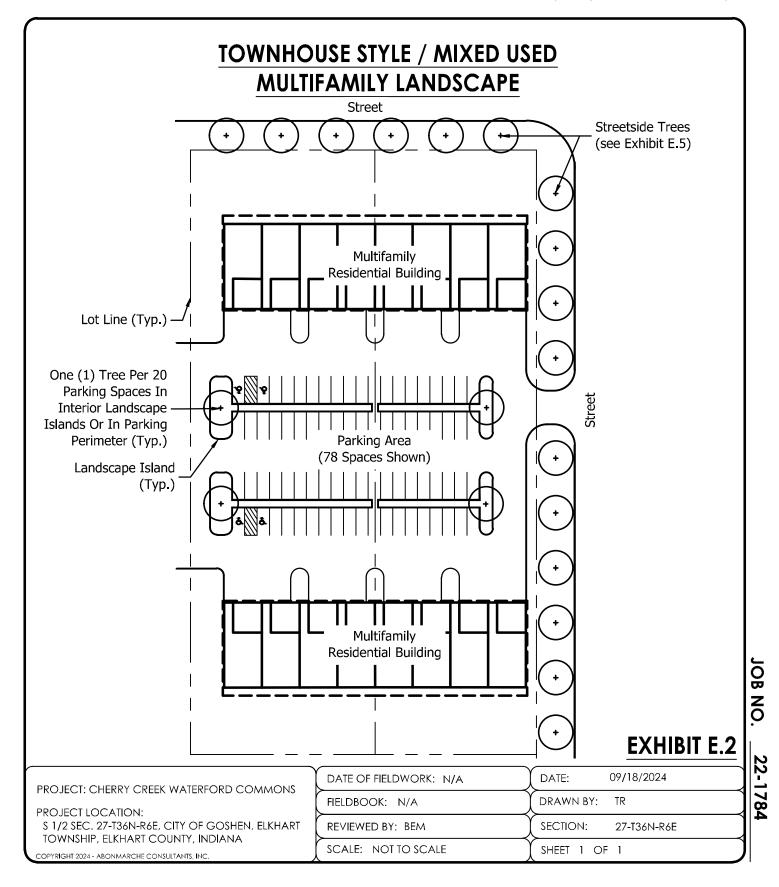
NEW: ACCESS EASEMENT

Access to the lot will be maintained via a shared access easement with the adjacent single-family residential lot.

303 River Race Drive, Unit 206 Goshen, IN 46526 **T** 574.533.9913 **F** 574.533.9911 abonmarche.com Benton Harbor Portage Grand Haven Fort Wayne Goshen Hobart Lafayette South Bend Valparaiso



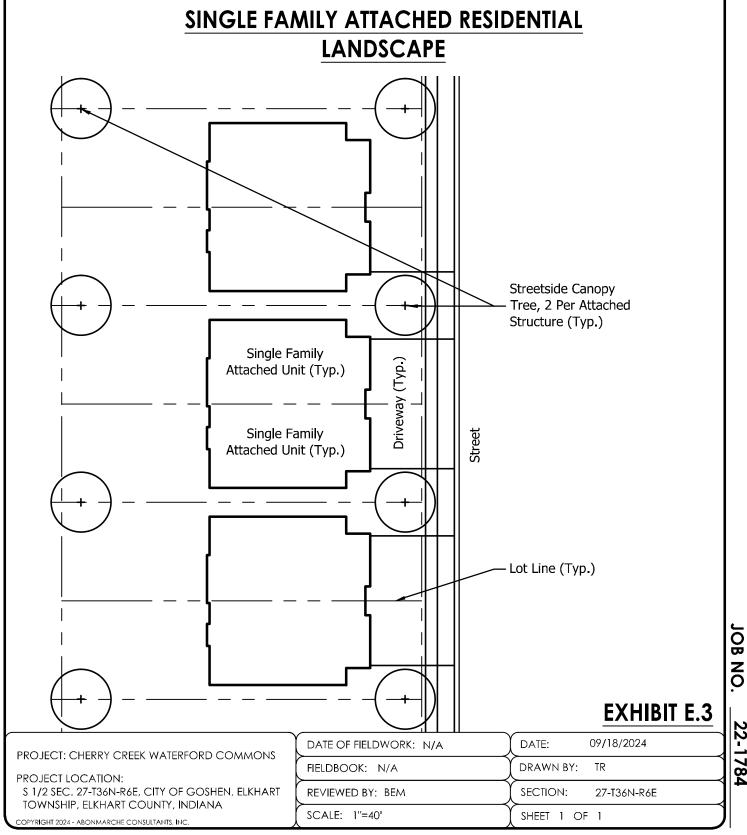
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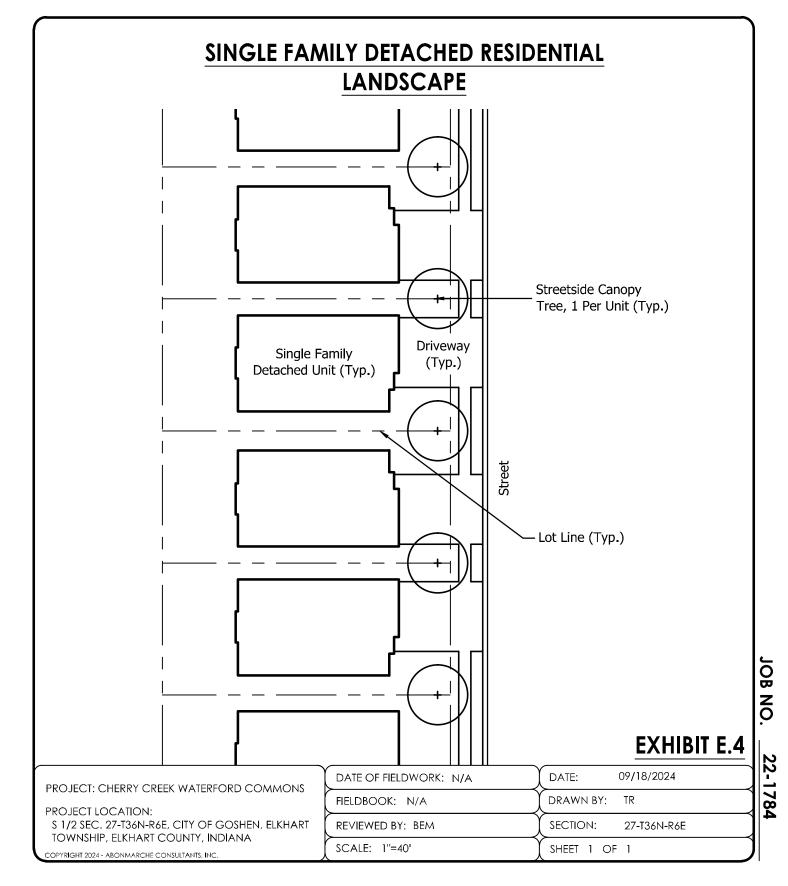
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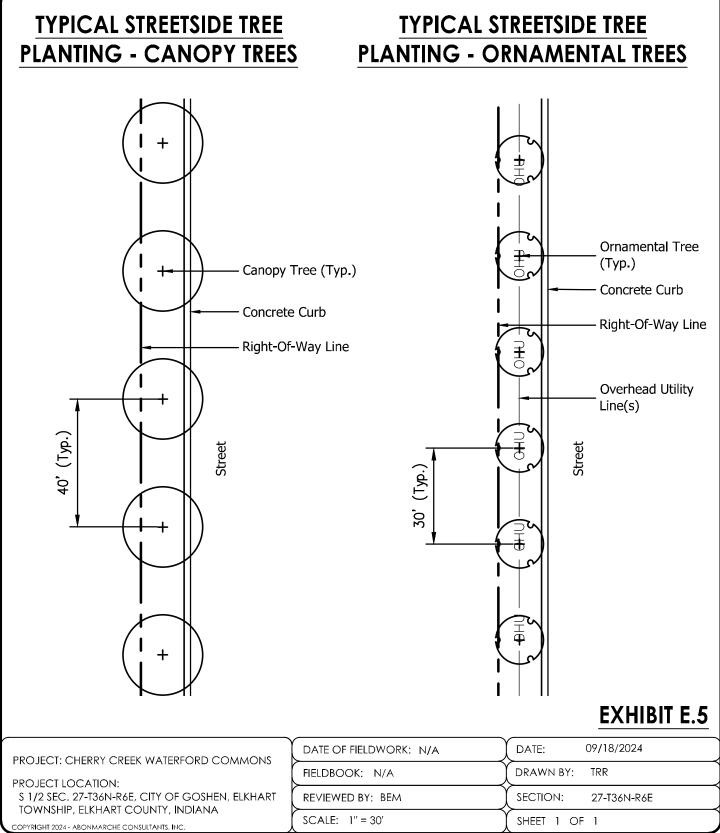


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JOB NO. 22-1784

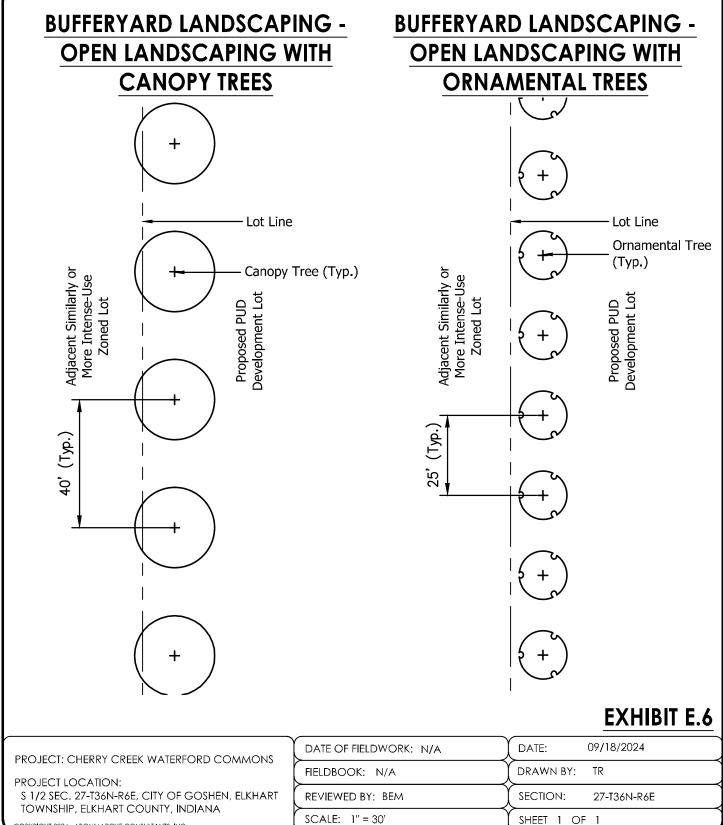
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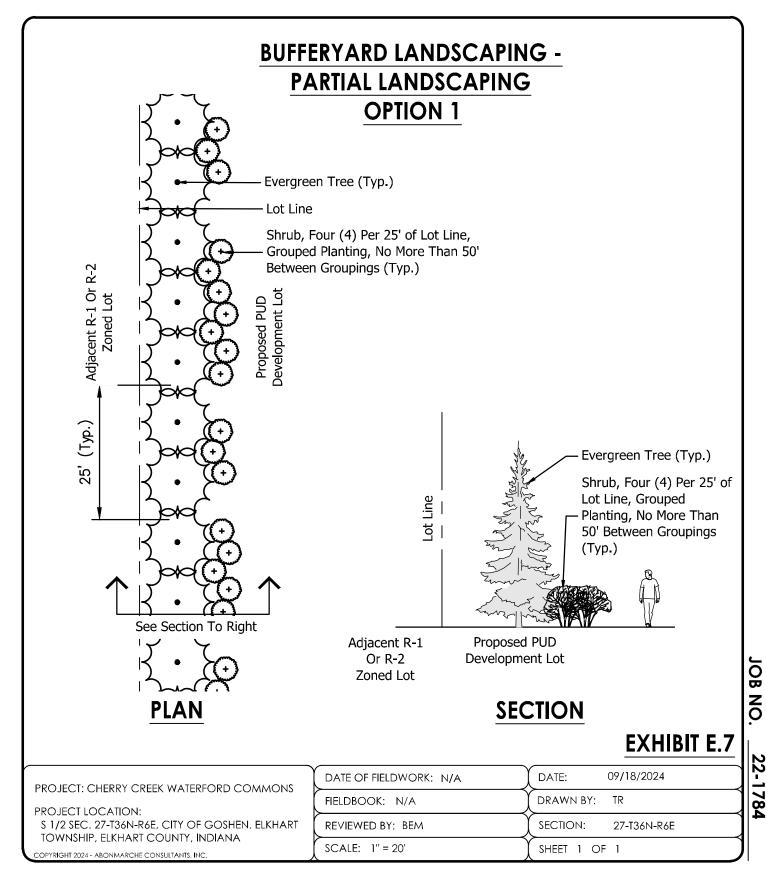
Hobart Lafayette South Bend Valparaiso

Engineering · Architecture Land Surveying

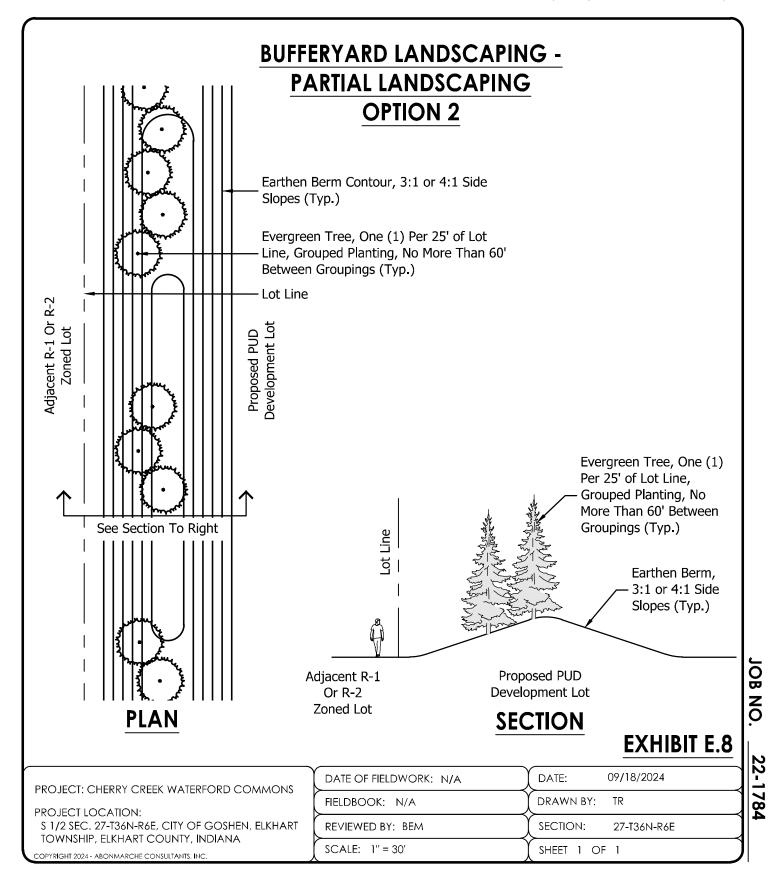


JOB NO 22-1784

303 River Race Drive, Unit 206 Goshen, IN 46526 **T** 574.533.9913 **F** 574.533.9911 abonmarche.com Benton Harbor Portage Grand Haven Fort Wayne Goshen Hobart Lafayette South Bend Valparaiso

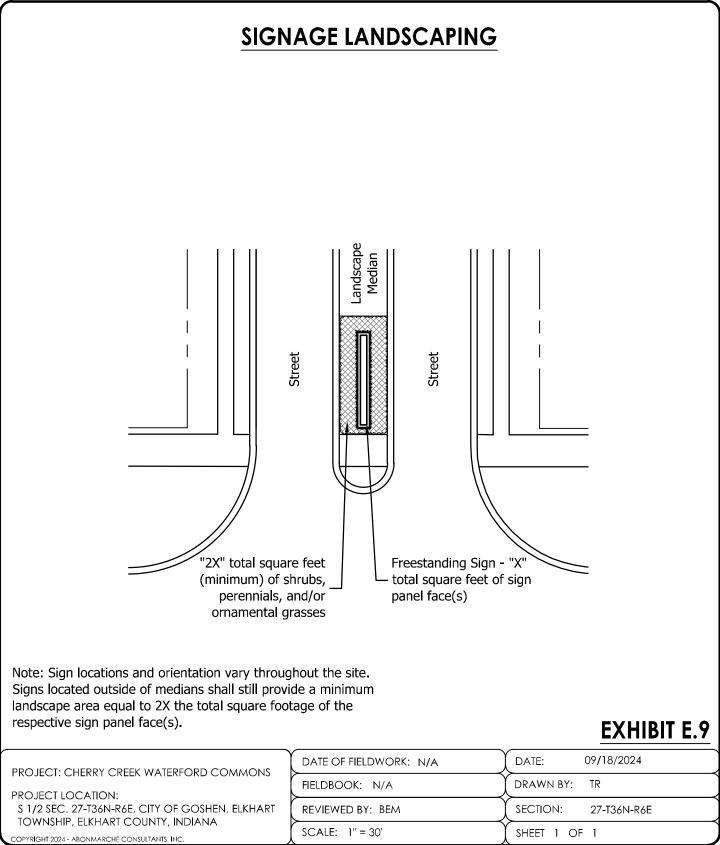


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303 River Race Drive, Unit 206 Goshen, IN 46526 **T** 574.533.9913 **F** 574.533.9911 abonmarche.com Benton Harbor Portage Grand Haven Fort Wayne Goshen Hobart Lafayette South Bend Valparaiso

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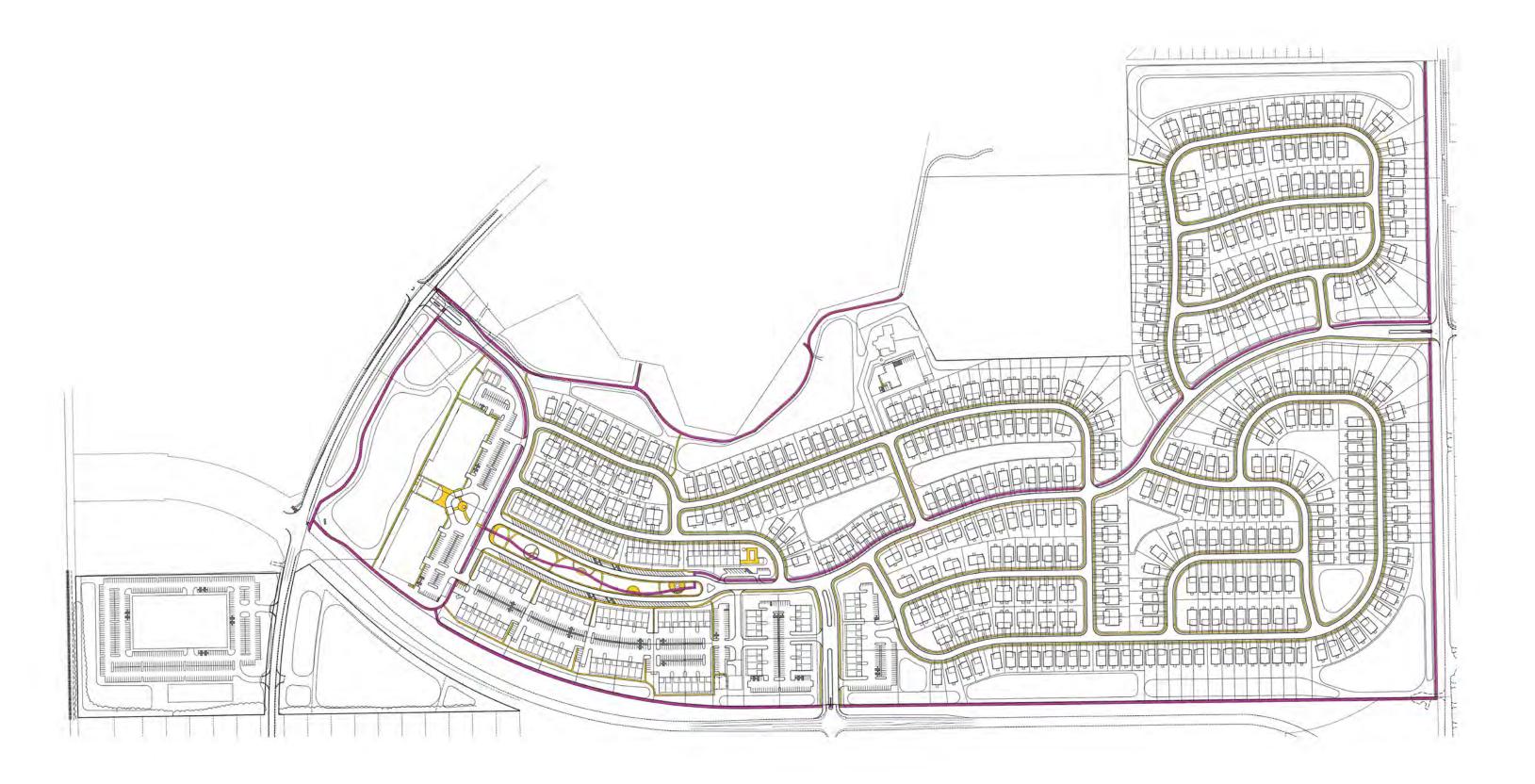


JOB NO. 22-1784

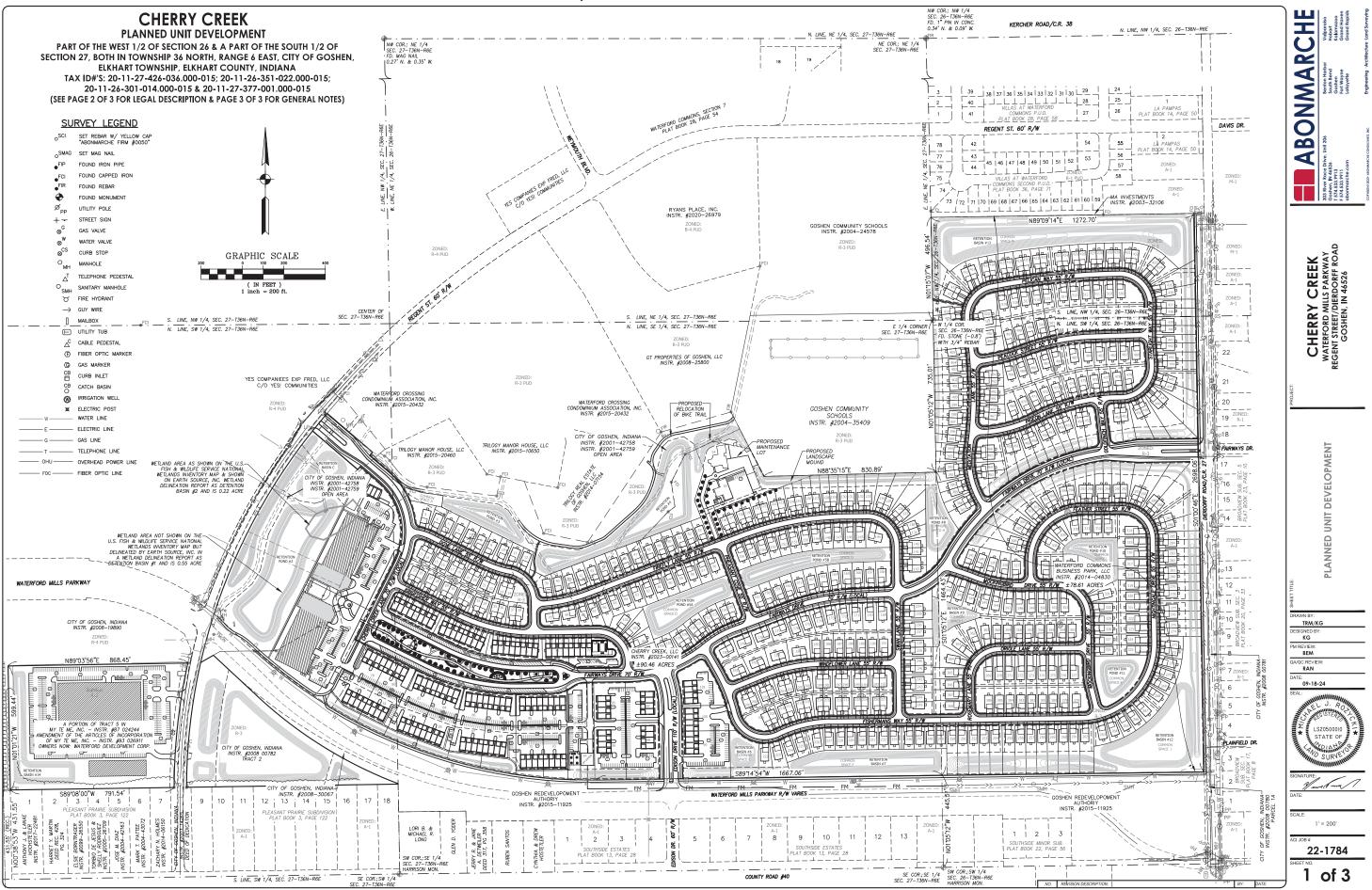
Cherry Creek PUD - Exhibit G. Active Transportation Network

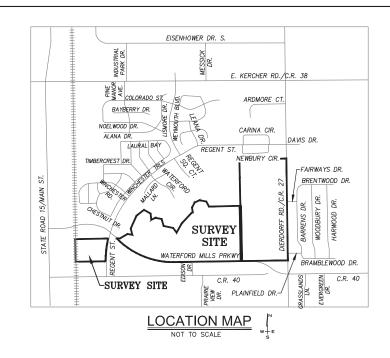
LEGEND

- 10-foot Biking & Walking Trail
- ----- Sidewalk / Pedestrian Space



Cherry Creek PUD Amendment - Exhibit K





LEGAL DESCRIPTION WATERFORD COMMONS/WATERFORD MILLS PARKWAY/DIERDORFF ROAD

A PART OF THE SOUTH HALF OF SECTION 27 AND A PART OF THE WEST HALF OF SECTION 26, ALL IN TOWNSHIP 36 NORTH, RANGE 6 EAST, CITY OF GOSHEN, ELKHART TOWNSHIP ELKHART COUNTY, INDIANA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THELT I A AND TO THE SUITH HALF OF SECTION 27 AND A PART OF THE WEST HALF OF SECTION 26, ALL IN TOINSHIP 36 NORTH, ANNE & EAST, CITY OF GOSHE, LEWART TOINNER, AND REFERENCE NORTH OT DEGREE OF ANNEES IN SECTION 26, ALL IN TOINSHIP 36 NORTH, ANNEE & EAST, CITY OF GOSHE, LEWART TOINNER, A DISTINCE OF THE SUITHEAST COMPREY OF 2800 SUITHAST QUARTER, A DISTINCE OF 2800 SUITHAST QUARTER, A DISTINCE OF 2800 SUITHAST QUARTER. THE NEXT NORTH OT DEGREE OF ANNEES IN SUITHAST QUARTER, A DISTINCE OF THE SUITHAST COMPREY OF A TRACT ALONG THE AND RECHTAGON OF THE SUITHAST COMPREY OF A TRACT ALONG THE SUITHAST QUARTER THE SUITHAND AND THE AND THE

CONTAINING 199.72 ACRES, MORE OR LESS. SUBJECT TO ALL EASEMENTS, RESTRICTIONS, AND PUBLIC RIGHTS-OF-WAY OF RECORD.

A PART OF THE SOUTHWEST QUARTER OF SECTION 27, TOWNSHIP 36 NORTH, RANGE 6 EAST, CITY OF GOSHEN, ELKHART TOWNSHIP, ELKHART COUNTY, INDIANA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

PARTICULARLY DESCRIECT AS FOLLOWS: COMMENSING AT THE NORTHNEST CORRER OF LOT NUMBER ONE (1) AS THE SUID LOT IS WORM AND DESCRITET ON THE PLATANT PRAME SUBDIVISION A SUBDIVISION ELMART TOMNSHIP, SAID PLAT ERROR ECORRED IN THE OFTIC OT THE SUID LIST OWNER AND DESCRITETED ON THE PLATANT PRAME SUBDIVISION A SUBDIVISION ELMART TOMNSHIP, SAID PLAT ERROR ECORRED IN THE OFTIC OT THE RECORDER OF SUBDIVISION AS DESCRITED ON THE PLATANT PRAME SUBDIVISION A SUBDIVISION ELMART TOMNSHIP, SAID PLAT ERROR CONTROL IN AND THE C. C. C. & ST. LOUS BAURDONS, 599.4 FEET TO THE SOUTHEST COMPRET AS APAREL OF LANG CONVERT TO THE OFTIC OT THE SUBDIVISION A SUBDIVISION EAST LINE OF THE NORT OF WAY OF THE C. C. C. & ST. LOUS BAURDONS, 599.4 FEET TO THE SOUTHEST COMPRET AS APAREL OF LANG CONVERT TO THE OTT OF COMPRET EAST LINE OF THE NORT OF WAY OF THE C. C. C. & ST. LOUS BAURDONS, 599.4 FEET TO THE SOUTHEST COMPRET AS APAREL OF LANG CONVERTO TO THE OTT OF COMPRET EAST LINE OF THE NORT OF WAY OF THE C. C. C. & ST. LOUS BAURDONS, 599.4 FEET TO THE SOUTHEST COMPRET OF A MARCEL OF LANG CONVERTO TO THE OTT OF COMPRET EAST LINE OF THE NORT OF WAY OF THE C. C. C. & ST. LOUS BAURDONS, 599.4 FEET TO THE SOUTHEST COMPRET OF A MARCEL OF LANG CONVERTO TO THE OTT OF COMPRET EAST LINE OF THE NORT OF WAY OF THE C. C. C. & ST. LOUS BAURDONS, 599.4 FEET TO THE SOUTHEST COMPRET OF A MARCEL OF LANG CONVERTO TO THE OTT OF COMPRET OF A SUBJECT AS TO THE OTT OF COMPRET OF A SUBJECT AS TO THE OTT OF COMPRET OF A SUBJECT AS TO THE OTT OF COMPRET OF A SUBJECT AS TO THE OTT OF COMPRET OF A SUBJECT AS TO THE OTT OF COMPRET ON A SUBJECT AS TO THE OTT OF COMPRET OF A SUBJECT AS TO THE OTT OF COMPRET OF A SUBJECT AS TO THE OTT OF TAKES SUBJECT AS TO THE OTT OF AND A RECORD TO AND AND A DOCUMENT RECORDED IN THE OTTE COMPRET OF ELMART COMPUTES AS AND LESS AS SUBJECT AS TO THE OTT OF A SUBJECT AS TO THE OTT OF A SUBJECT AS TO THE OTT OF A SUBJECT AS TO THE OTTO THE AST THE AND A AND A SUBJECT AS TO THE OTTO THE AST THE AST TO THE AST THE AST TO AND A RELAXION T OF BEGINNING OF THIS DESCRIPTION. CONTAINING 11.278 ACRES, MORE OR LESS. SUBJECT TO ALL EASEMENTS RESTRICTIONS, AND PUBLIC RIGHTS-OF-WAY OF RECORD.

CHERRY CREEK PLANNED UNIT DEVELOPMENT PART OF THE WEST 1/2 OF SECTION 26 & A PART OF THE SOUTH 1/2 OF

SECTION 27, BOTH IN TOWNSHIP 36 NORTH, RANGE 6 EAST, CITY OF GOSHEN, ELKHART TOWNSHIP, ELKHART COUNTY, INDIANA TAX ID#'S: 20-11-27-426-036.000-015; 20-11-26-351-022.000-015; 20-11-26-301-014.000-015 & 20-11-27-377-001.000-015

OPEN AREA LEGAL DESCRIPTION

A PART OF SECTION 27, TOWNSHIP 36 NORTH, RANGE 6 EAST, ELKHART TOWNSHIP, STORE YOR THE POINT OF TAUGHT, HANNG A RADUS OF 770.0 FET IAN DA DELTA ANGLE OF 14 DEGREES, 29 MINUTES, 39 SECONDS, WEST, 170.0 87 FET, ALONG SAMD CIRK, ENCONDS WEST, 217.0 THE FOINT OF CURRATURE OF A CURKE TO THE FORTH HANNG A RADUS OF 154.692 FETA AND A DELTA ANGLE OF 45 DEGREES, 19 MINUTES, 09 SECONDS, THENCE SOUTHWARTURY, 1947.5 FEET, ALONG SAMD CURK, ENCONS SAMD C A PART OF SECTION 27, TOWNSHIP 36 NORTH, RANGE 6 EAST, ELKHART TOWNSHIP, ELKHART COUNTY, INDIANA, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS : EXCEPTION PARCEL

A PART OF HE SOUTH HAF (S 1/2) OF SECTION 27, TOWNSHIP 36 NORTH, RANCE 6 EAST, ELKHART TOWNSHIP, ELKHART COUNTY, NDIANA, BENG MORE PARTICULARLY DESCRIED AS FOLLOWS: A PART OF HE SOUTH HAF (S 1/2) OF SECTION 27, TOWNSHIP 36 NORTH, RANCE 6 EAST, ELKHART TOWNSHIP, ELKHART COUNTY, NDIANA, BENG MORE PARTICULARLY DESCRIED AS FOLLOWS: COMMENCING AT A HARRISON MONUMENT FOUND FLUSH WITH THE ASPHALT MARKING THE NORTHEAST CORRER OF SECTION 27, A DISTANCE OF 1700.87 TEET, TO THE CONTRINE OF MEMODILARD, THENCES SOUTH OD DEGREES 3 MINUTES 3 SECONDS WEST ALONG THE NORTHEAST CONTRIBUTES OF SECONDS WEST ALONG THE NORTHEAST CORRER OF SECTION 27, A DISTANCE OF 1700.87 TEET, TO THE CONTRINUE OF MEMODILARD, THENCES SOUTH OD DEGREES 3 MINUTES IS SECONDS CHORD-HASJ.S FEET, CHORD DURCHTON FUNCTION TO THE RORTHEAST CORRER OF MEMODITING CHARANTIME OF A CURVE TO THE CRITERING OF MEMODITING OF MEMODILARD, THE CRITERING OF MEMODITING BULLVARD, ON A BEANING OF SOUTH 14 DEGREES 33 MINUTES IS SECONDS SAD CURVE, TO HE LEFT, CANCALE TO THE KORTHEAST, THENCE SOUTH 30 DEGREES 14 MINUTES IS SECONDS SAD CURVE, TO HE LEFT, CANCALE TO THE CONTRAINES OF SECONS, SOUTH 30 DEGREES 14 MINUTES IS SECONDS EAST), ALONG SAD CURVERLING OF MEMODITION DULLARD, THE TO THE PONT OF CURVATURE OF A CURVE TO THE LEFT, CANCALE TO THE LEFT, HENCE ALONG SAD CURVE, THE OWNED TO THE DEGREES 31 MINUTES IS SECONDS EAST), ALONG SAD CURVERLING OF MEMODITION DULLARD MINITES INTERICE TO THE LEFT, CANCALE TO THE LEFT, HENCE ALONG SAD, CURVERLING OF MEMODITION DULLARD MINITES IS SECONDS EAST), ALONG SAD CURVERLING OF MADINES INTERCE TO THE LEFT, CANCALE TO THE LEFT, CANCALE TO THE LEFT, CANCALE TO THE LEFT, CANCALE AND SAD CURVER TO ALD LEFT (AND/S 447). SECONDS CONST, THE OT FERT, THE OD DEGREES 14 MINUTES IS SECONDS CHART, A DISTANCE OF 1249.7 EET, TO THE SOUTHAST (MEMOTITIES AND SECONDS SHEST), A DISTANCE OF 1223.57 TEET, THENCE SOUTH SE DEGREES SOMMUTES AS SECONDS SHEST, A DISTANCE OF 1223.57 TEET, THENCE SOUTH SE DEGREES AND MUTES AS SECONDS SHEST, A DISTANCE O A PART OF THE SOUTH HALF (S 1/2) OF SECTION 27, TOWNSHIP 36 NORTH, RANGE 6 EAST, ELKHART TOWNSHIP, ELKHART COUNTY, INDIANA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THE ABOVE DESCRIBED PARCEL CONTAINING 2.663 ACRES, MORE OR LESS, BEING SUBJECT TO ALL EASEMENTS, RESTRICTIONS AND PUBLIC RIGHTS OF WAY OF RECORD.

LEGAL DESCRIPTION PER INSTR. NUMBER 2023-00141

A PART OF THE SOUTH HULF OF SECTION 27 IN TOWNSHIP 36 NORTH, RANGE 6 EAST, ELKHART TOWNSHIP, ELKHART COUNTY, INDAMA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT A STONE MARKING THE EAST OWNTERE-CORRER OF SUD SECTION 27; THENCE ON AN ASSUED BEARING OF SOUTH OD DEGREES 42 MUNITES 45 SECONDS EAST ALONG THE EAST LINE OF A PARCEL SOUTHEAST OWNTER TO THE GOSTION COMMINITY SCHOOL SA DESCRIBED AND RECORDED IN THE OFTER OF THE RECORDER OF ELKHART COUNTY IN INSTRUMENT NUMBER 2007-33409 AND THE EAST LINE OF THE SOUTHEAST OWNTER OF SUD SECOND SEXT, A DISTANCE OF 735.01 FEET TO THE SOUTHEAST OWNTER OF SAN DESCRIPTION, THENCE COMMINITY SCHOOL SA DESCRIPTION, THENCE SOUTH AND SCHOOL SOUTH OU DEGREES 42 MUNITES A SECOND SEXT, A DISTANCE OF TASS. DESCRIPTION, THENCE COMMINITY SCHOOL SOUTH OU DEGREES 37 MUNITES 31 SECONDS WEST ALONG THE AST LINE OF THE MOST OF WAY OF SAND WATERFORD MILLS PARKWAY, A DISTANCE OF 166/06 FEET TO A DE AMARCOND MILE SPARKWAY, THENCE SOUTH 89 DEGREES 37 MUNITES 31 SECONDS WEST ALONG THE NORTH LINE OF THE MOST OF WAY OF SAND WATERFORD MILLS PARKWAY, A DISTANCE OF 166/06 FEET TO A DE AMARCOND MILE SPARKWAY, THENCE SOUTH 89 DEGREES 37 MUNITES 31 SECONDS WEST ALONG THE NORTH LINE OF THE MOST OF WAY OF SAND WATERFORD MILLS PARKWAY, A DISTANCE OF 166/06 FEET TO A DE AMARCOND MILE SPARKWAY, THENCE SOUTH 89 DEGREES 37 MUNITES 31 SECONDS WEST ALONG THE NORTH LINE OF THE MOST OF WAY OF SAND WATERFORD MILLS PARKWAY, A DISTANCE OF SAND SECOND FEET, THENCE NORTH BAY DEGREES 44 MUNITES 45 SECONDS MEET TO A DE AMARCOND MILE SPARKWAY, THENCE SOUTH 80 DEGREES 41 MUNITES 31 SECONDS SECOND FEET, THENCE NORTH BAY DEGREES 44 MUNITES 33 SECONDS SECONDS SECOND SEXT, A DISTANCE OF 700 FEET, THENCE NORTH BO DEGREES 45 MUNITES 33 SECONDS SEXT, A DISTANCE OF 720.01 FEET, THENCE NORTH BO DEGREES 44 MUNITES 33 SECONDS SEXT, A DISTANCE OF 720.01 FEET, THENCE NORTH BO DEGREES 50 MUNITES 33 SECONDS SEXT, A DISTANCE OF 750.00 FEET, THENCE NORTH BO DEGREES 50 MUNITES 33 SECONDS SEXT, A DISTANCE OF 750.00 FEET, A PART OF THE SOUTH HALF OF SECTION 27 IN TOWNSHIP 36 NORTH, RANGE 6 EAST, ELKHART TOWNSHIP, ELKHART COUNTY, INDAMA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

LEGAL DESCRIPTION PER INSTR. NUMBER 2023-20130 A PART OF SECTION 27, TOWNSHIP 36 NORTH, RANGE 6 EAST, ELKHART TOWNSHIP, ELKHART COUNTY, INDIANA, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS :

EXCEPTING:

CONTAINING 1.07 ACRES, MORE OR LESS.

LEGAL DESCRIPTION PER INSTR. NUMBER 2014-04830 A PART OF THE WEST HALF OF SECTION 26 IN TOWNSHIP 36 NORTH. RINGE 6 EAST, ELIMART TOWNSH, ELIMART COUNTY, INJOHAN, BEING LORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT A STORE MARKING THE WEST CURIERE OPERATE 30 SECTION 26. THENEY ON AN SUBLE BEARING OF VORTH OD DEGRESS 26 MUNITES 41 SECONDS WEST ALONG THE WEST LINE OF THE RORTINEST CURIER OF SAD SECTION 26. A DISTANCE OF 496.54 FEET; THENEY CONTH 80 DEGRESS 31 MULTIES 40 SECONDS FEST ALONG A LINE THAT IS THE WESTERLY EXTENSION OF THE SOUTH LINE OF THE PARCEL OF LAND CONVECTO TO GUN W. AND CAROLIN M. CHUPP AS DESCRIPTO 26. THE OFFICE OF THE RECORDER OF ELIMART COUNTY IN INSTRUMENT NUMBER 2008 07805, THENCES SIGNITIES 19 SECONDS EAST ALONG A LINE THAT IS THE WESTERLY EXTENSION OF THE SOUTH LINE OF TO IDSTRUMENT NUMBER 2008 07805, THENCE SOUTH 00 DEGRESS 34 MUNITES 19 SECONDE AST MALTING THE WEST LINE OF SAD SECOND AND ALONG A LINE THAT IS THE WESTERLY EXTENSION OF THE SOUTH LINE OFFICE OF THE RECORDER OF ELIMART COUNTY IN INSTRUMENT NUMBER 2008 07805, THENCE SOUTH DIS DESCRIPTION TO THE OFFICE OF THE RECORDER OF ELIMART COUNTY IN INSTRUMENT NUMBER 2008 07805, THENCE SOUTH DIS DEGRESS 37 MUNITES 19 SECONDER WEST LINE OF SAD CIT'O GOSHEN, MOUNAN ASS DESCRIPED AND PARCEL OF LAND CONVERTED TO THE OFFICE OF THE RECORDER TO CHUART IN MERTARY AND ANAL AND ALARCEL TO THE SOUTHEST DEGRESS 37 MUNITES 19 SECONDER WEST LINE OF THE MORTH NUMBER 2008 0781, A DISTANCE OF 289.05 RETT TO THE SOUTHEST DEGRESS 37 MUNITES 19 SECONDER WEST LINE OF THE MORTH INVERTIONAL APARCEL THE TO THE MERTER ON THE DEGRESS 37 MUNITES 19 SECONDER OF SECONDE MENT OF MARKING A DISTANCE OF 289.05 RETT TO THE SOUTHEST DEGRESS AT ALONG THE WEST LINE OF MENT LINE OF THE RECORDER OF AL DARGE OF 280.05 RETT TO THE MENT LINE OF SECONDE MENT LINE OF SECONDE MENT LINE OF THE RECORDER OF SECONDE MENT DEGRES 37 MUNITES 19 SECONDES AND ARACEL TO ATT OF MARKING A DASEL TO THE CONTRE OF SAD CI OF GOSHEN, MOUNAN AARCHUR THE DEGRESS 37 MUNITES 19 SECONDES M

TOLLOWS . COMMENCING AT THE NORTHEAST CORNER OF THE NORTHEAST QUARTER OF SAID SECTION 27: THENCE NORTH B9 DEGREES 39' 36" WEST. 1700.87 FEET.

Lease Description PER INSTR. TUDINER 2003–1949. A PART OF SECTION 27, TOMISHIP & NORTH, RANGE & ESST, ELVARAFT TOMISH, ELVARAFT COMINF, NORMA, MA DORE PARTICULARLY DESCRIBED AS COMMENSING AT THE NORTHENST CORPER OF THE NORTHEAST QUARTER OF SAID SECTION 27; THENCE NORTH B9 DEGREES 39' 36' WEST, 170.087 FEET, ALONG THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 27; THENCE SOUTH 00 DEGREES 06' 15' WEST, 211.71 FEET, ALONG THE COMMENSION FILE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 27; THENCE SOUTH 00 DEGREES 06' 15' WEST, 211.71 FEET, ALONG THE COMMENSION FILE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 27; THENCE SOUTH 00 DEGREES 06' 15' WEST, 211.71 FEET, ALONG THE COMMENSION FILE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 27; THENCE SOUTH 00 DEGREES 06' 15' WEST, 211.71 FEET, ALONG THE COMMENSION FILE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 27; THENCE SOUTH SOUTHERDING, TO THE FOND OF COMMENSION FILE OF THE NORTHEAST QUARTER OF SAID SECTION 27; THENCE SOUTH SOUTHERDING, TO THE FOND OF COMMENSION FILE OF MINIS OF 15680 ECTET NAN A DEGREES 16' 05' FHIOLE'S OUTHENSTIMMENY, SOUTHERDING SOUTHERDING NORTHENDY, SOUTHERDING AND DEGREES 43' 25' DEST, TAGE OF FELL, ADING SAID CURRE AND CONTERINE, TO THE FOND OF THE CONTERINE, TO THE FOND OF CURRATING OF A CURRE TO THE LIFT HANNG A HOULS OF 1458.74 FEET; HALONG THE CONTERVIENCE OF REGONT STREET, TO THE POINT OF CURRATING OF A CURRE TO THE LIFT HANNG A HOULS OF 1458.74 FEET; HALONG THE CONTERVIENT OF REGES SOUTH STODEWERST OF REGONT STREET; THENCE SOUTH SJ DEGREES 00' 50' ESST, 30.00 FEET, ALONG AL UNE RADAL OF RECK SOUTHERSTREMANY, 1494.72 FEET, ALONG A CURRE TO THE LIFT HANNG A APADIS OF 1458.54 FEET HAND A DELTA ANDEL OF 17 DEGREES 30' 31'. TO A REBAR ON THE SOUTHERSTREMANY, 1494.72 FEET, ALONG A CURRE TO THE LIFT HANNG A APADIS OF 1458.54 FEET HAD A DELTA ANDEL OF 17 DEGREES 00' 13'. TO A REBAR ON THE SOUTH HIS DEGREES 00' 50' ESST, 30.00 FEET, ALONG ALONG THE SOUTH HIS DEGREES 00' 50' ESST, 30.00 FEET, A ONTAINING 0.17 ACRES, MORE OR LESS.

A PART OF SECTION 27, TOWNSHIP 36 NORTH, RANGE 6 EAST, ELKHART TOWNSHIP, ELKHART COUNTY, INDHAN, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS :

LEGAL DESCRIPTION PER INSTR. NUMBER 2023-19449

PREPARED BY ABONMARCHE CONSULTANTS, INC. 303 RIVER RACE DRIVE, UNIT 206 GOSHEN, IN 46526 PHONE: (574) 533–9913 FAX: (574) 533–9911

DEVELOPER CHERRY CREEK, L CHERRY CREEK, LLC ATTN: TONYA DETWEILER 1630 TIMBERLINE DRIVE GOSHEN, IN 46526 PHONE: 574–370–7774 EMAIL: tonya@bluediamond

OWNERS CHERRY CREEK, LLC ATTN: TONYA DETWEILER 1630 TIMBERLINE DRIVE GOSHEN, IN 46526 PHONE: 574–370–7774 EMAIL: tonya@bluediamond ities.com

WATERFORD COMMONS BUSINESS PARK LLC 1738 W LINCOLN AVE GOSHEN, IN 46526-5906



CHERRY CREEK

PLANNED UNIT DEVELOPMENT PART OF THE WEST 1/2 OF SECTION 26 & A PART OF THE SOUTH 1/2 OF SECTION 27, BOTH IN TOWNSHIP 36 NORTH, RANGE 6 EAST, CITY OF GOSHEN, ELKHART TOWNSHIP, ELKHART COUNTY, INDIANA TAX ID#'S: 20-11-27-426-036.000-015; 20-11-26-351-022.000-015; 20-11-26-301-014.000-015 & 20-11-27-377-001.000-015

Lot Area (SQ FT) Lot Area (Acres) Lot Area (SQ FT) Lot Area (Acres) 162,431 LOT 41 7,132 LOT 1 3.73 0.16 LOT 2 170,381 3.91 LOT 42 7,418 0.17 7,260 10,841 LOT 3 0.25 LOT 43 0.17 7.174 7.069 0.16 LOT 4 0.16 LOT 44 6,920 7,126 LOT 5 0.16 LOT 45 0.16 7,242 LOT 46 6,813 LOT 6 0.17 0.16 7.267 7.900 0.18 LOT 7 0.17 LOT 47 7,292 7,655 0.18 LOT 8 0.17 LOT 48 7,341 6.543 LOT 9 0.17 LOT 49 7,177 6.543 0.16 LOT 50 0.15 LOT 10 6 467 6,543 LOT 11 0.15 LOT 51 0.15 6.378 6.543 0.15 0.15 LOT 12 LOT 52 6,900 LOT 53 6,567 LOT 13 0.16 0.15 LOT 54 78,361 4,658 1.80 LOT 14 0.11 35,108 LOT 15 4,658 0.11 LOT 55 0.81 4,695 LOT 56 8,841 LOT 16 0.11 0.20 7.100 4.695 0.16 LOT 17 0.11 LOT 57 4,749 7,100 LOT 18 0.11 LOT 58 0.16 LOT 59 7,100 4.754 LOT 19 0.11 0.16 4,717 7,100 0.16 LOT 20 0.11 LOT 60 4,872 7,100 LOT 21 0.11 LOT 61 0.16 5.155 7.100 0.16 LOT 22 0.12 LOT 62 4,947 7,030 LOT 23 0.11 LOT 63 0.16 9,929 6.846 LOT 24 0.23 LOT 64 0.16 6,335 LOT 65 6,846 LOT 25 0.15 0.16 LOT 66 7,514 4,872 LOT 26 0.11 0.17 7 656 4 872 0.18 LOT 27 LOT 67 0.11 4,834 6,661 0.15 LOT 28 0.11 LOT 68 LOT 69 8,209 4.846 LOT 29 0.11 4,860 LOT 70 8,640 0.20 LOT 30 0.11 LOT 71 27,406 4,869 LOT 31 0.11 0.63 4 697 LOT 72 14,181 0.33 LOT 32 0.11 LOT 73 14,660 LOT 33 5,051 0.12 0.34 LOT 74 14,626 4 955 LOT 34 0.11 4.892 LOT 75 14,134 0.32 LOT 35 0.11 4,997 LOT 76 14,195 LOT 36 0.11 0.33 4.883 LOT 77 34,209 0.79 LOT 37 0.11
 0.16
 LOT 78
 19,376

 0.23
 LOT 79
 35,041
LOT 38 6,777 0.44 9,852 LOT 39 6.510 LOT 40

LOT 269

LOT 270

_OT 271

LOT 272

LOT 273

LOT 274

LOT 276

LOT 277

I OT 279

LOT 280

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LOT 310

LOT 311

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LOT 313

LOT 314

LOT 315

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LOT 317

LOT 318

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LOT 320

7 707

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8,208

8,197

8,178

8,173

9,990

LOT 275 8,203

_OT 278 10,041

4,963

	Lot Area (SQ FT)	Lot Area (Acres)		Lot Area (SQ FT)	Lot Area (Acres)
LOT 81	29,087	0.67	LOT 121	5,649	0.13
LOT 82	20,743	0.48	LOT 122	5,888	0.14
LOT 83	29,663	0.68	LOT 123	6,153	0.14
LOT 84	20,652	0.47	LOT 124	6,489	0.15
LOT 85	30,060	0.69	LOT 125	6,927	0.16
LOT 86	20,528	0.47	LOT 126	7,391	0.17
LOT 87	31,374	0.72	LOT 127	7,725	0.18
LOT 88	20,915	0.48	LOT 128	7,641	0.18
LOT 89	35,478	0.81	LOT 129	7,575	0.17
LOT 90	19,756	0.45	LOT 130	7,426	0.17
LOT 91	32,483	0.75	LOT 131	7,210	0.17
LOT 92	18,298	0.42	LOT 132	7,426	0.17
LOT 93	30,411	0.70	LOT 133	9,726	0.22
LOT 94	13,413	0.31	LOT 134	11,214	0.26
LOT 95	28,443	0.65	LOT 135	13,744	0.32
LOT 96	43,483	1.00	LOT 136	16,310	0.37
LOT 97	29,498	0.68	LOT 137	10,393	0.24
LOT 98	45,834	1.05	LOT 138	7,477	0.17
LOT 99	53,064	1.22	LOT 139	5,904	0.14
LOT 100	28,872	0.66	LOT 140	5,246	0.12
LOT 101	37,390	0.86	LOT 141	4,802	0.11
LOT 102	9,610	0.22	LOT 142	4,701	0.11
LOT 103	9,160	0.21	LOT 143	8,258	0.19
LOT 104	7,484	0.17	LOT 144	12,287	0.28
LOT 105	11,582	0.27	LOT 145	6,603	0.15
LOT 106	5,204	0.12	LOT 146	6,721	0.15
LOT 107	5,143	0.12	LOT 147	6,596	0.15
LOT 108	5,246	0.12	LOT 148	6,739	0.15
LOT 109	5,141	0.12	LOT 149	6,596	0.15
LOT 110	4,861	0.11	LOT 150	6,739	0.15
LOT 111	4,993	0.11	LOT 151	6,596	0.15
LOT 112	4,979	0.11	LOT 152	6,739	0.15
LOT 113	4,948	0.11	LOT 153	6,596	0.15
LOT 114	4,912	0.11	LOT 154	6,641	0.15
LOT 115	6,360	0.15	LOT 155	6,564	0.15
LOT 116	5,125	0.12	LOT 156	8,519	0.20
LOT 117	5,125	0.12	LOT 157	8,542	0.20
LOT 118	5,334	0.12	LOT 158	6,500	0.15
LOT 119	5,342	0.12	LOT 159	6,602	0.15
LOT 120	5,480	0.13	LOT 160	6,783	0.16

	Lot Area (SQ FT)	Lot Area (Acres)		Lot Area (SQ FT)	Lot Area (Acres)
OT 161	7,233	0.17	LOT 201	4,875	0.11
OT 162	7,252	0.17	LOT 202	4,972	0.11
OT 163	7,119	0.16	LOT 203	5,240	0.12
OT 164	7,122	0.16	LOT 204	5,216	0.12
OT 165	7,228	0.17	LOT 205	5,333	0.12
OT 166	6,955	0.16	LOT 206	5,262	0.12
OT 167	7,099	0.16	LOT 207	7,025	0.16
OT 168	9,350	0.21	LOT 208	11,672	0.27
OT 169	10,687	0.25	LOT 209	5,119	0.12
OT 170	9,337	0.21	LOT 210	5,153	0.12
OT 171	8,670	0.20	LOT 211	5,264	0.12
OT 172	8,204	0.19	LOT 212	5,123	0.12
OT 173	7,979	0.18	LOT 213	5,366	0.12
OT 174	7,506	0.17	LOT 214	5,490	0.13
OT 175	6,971	0.16	LOT 215	5,192	0.12
OT 176	6,593	0.15	LOT 216	5,171	0.12
OT 177	8,897	0.20	LOT 217	5,175	0.12
OT 178	8,304	0.19	LOT 218	5,110	0.12
OT 179	9,140	0.21	LOT 219	5,109	0.12
OT 180	9,563	0.22	LOT 220	5,092	0.12
OT 181	10,688	0.25	LOT 221	7,205	0.17
OT 182	10,729	0.25	LOT 222	10,538	0.24
OT 183	11,152	0.26	LOT 223	12,344	0.28
OT 184	11,762	0.27	LOT 224	6,829	0.16
OT 185	6,918	0.16	LOT 225	8,049	0.18
OT 186	6,629	0.15	LOT 226	8,427	0.19
OT 187	6,795	0.16	LOT 227	6,251	0.14
OT 188	6,795	0.16	LOT 228	5,746	0.13
OT 189	6,795	0.16	LOT 229	5,746	0.13
OT 190	6,795	0.16	LOT 230	5,746	0.13
OT 191	8,609	0.20	LOT 231	5,746	0.13
OT 192	7,148	0.16	LOT 232	5,746	0.13
OT 193	5,052	0.12	LOT 233	6,729	0.15
OT 194	5,069	0.12	LOT 234	10,786	0.25
OT 195	5,070	0.12	LOT 235	6,158	0.14
OT 196	5,134	0.12	LOT 236	6,158	0.14
OT 197	5,131	0.12	LOT 237	6,158	0.14
OT 198	5,140	0.12	LOT 238	6,158	0.14
OT 199	5,461	0.13	LOT 239	6,158	0.14
OT 200	5,344	0.12	LOT 240	6,158	0.14

Lot Area (SQ FT) Lot Area (Acres)

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LOT 493

LOT 495

LOT 499

LOT 501

LOT 503

LOT 506

LOT 484 7,828

LOT 485 9,912

LOT 486 8,770

LOT 489 7,516

LOT 494 7,038

LOT 496 6,239

LOT 498 7,362

LOT 500 6,868 7,903

LOT 502 8,812

LOT 504 6,791

LOT 505 6,481

LOT 507 6,383

LOT 508 8,527

LOT 509 13,699

LOT 510 7,148 LOT 511 6,708

LOT 512 7,057

LOT 513 6,765

LOT 516 7,084

LOT 519 7,864

LOT 517

LOT 518

LOT 514 8,024

LOT 514 8,024 0.18 LOT 515 8,002 0.18

7,139

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LOT 520 11,862 0.27

6,198 0.14 LOT 522 491,367 11.28

LOT 497 8,108

LOT 491 5,036

LOT 35	5,052	0.23		20175	55/611	0.00	101 119	5/5 IL	0.1
LOT 40	6,510	0.15		LOT 80	22,442	0.52	LOT 120	5,480	0.3
	Lot Area (SQ FT)	Lot Area (Acres)			Lot Area (SQ FT)	Lot Area (Acres)		Lot Area (SQ FT)	Lot Area
LOT 241	6,158	0.14		LOT 281	8,167	0.19	LOT 321	7422.00	0.
LOT 242	6,158	0.14	- [7	LOT 282	8,162	0.19	LOT 322	7422.00	0.:
LOT 243	6,158	0.14		LOT 283	8,156	0.19	LOT 323	7422.00	0.
LOT 244	6,158	0.14		LOT 284	8,151	0.19	LOT 324	7422.00	0.
LOT 245	8,562	0.20	- [7	LOT 285	8,194	0.19	LOT 325	7307.00	0.
LOT 246	6,755	0.16	- [7	LOT 286	13,009	0.30	LOT 326	6252.00	0.
LOT 247	5,746	0.13		LOT 287	17,180	0.39	LOT 327	6252.00	0.
LOT 248	5,746	0.13	- [7	LOT 288	24,489	0.56	LOT 328	6252.00	0.
LOT 249	5,746	0.13	- []	LOT 289	16,765	0.38	LOT 329	6254.00	0.
LOT 250	12,418	0.29		LOT 290	13,756	0.32	LOT 330	6500.00	0.
LOT 251	12,422	0.29		LOT 291	12,121	0.28	LOT 331	10515.00	0.3
LOT 252	12,425	0.29	- []	LOT 292	10,868	0.25	LOT 332	10161.00	0.
LOT 253	12,429	0.29		LOT 293	8,457	0.19	LOT 333	10668.00	0.3
LOT 254	14,649	0.34	- [7	LOT 294	8,455	0.19	LOT 334	8426.00	0.
LOT 255	14,520	0.33		LOT 295	8,321	0.19	LOT 335	7293.00	0.
LOT 256	12,440	0.29		LOT 296	8,031	0.18	LOT 336	8412.00	0.
LOT 257	12,444	0.29	- [7	LOT 297	9,766	0.22	LOT 337	8295.00	0.
LOT 258	12,447	0.29		LOT 298	7,554	0.17	LOT 338	7333.00	0.
LOT 259	12,451	0.29		LOT 299	8,548	0.20	LOT 339	7362.00	0.
LOT 260	12,454	0.29	- [7	LOT 300	7,790	0.18	LOT 340	6743.00	0.
LOT 261	12,458	0.29		LOT 301	8,161	0.19	LOT 341	8380.00	0.
LOT 262	16,386	0.38		LOT 302	8,064	0.19	LOT 342	10909.00	0.
LOT 263	8,077	0.19	- [7	LOT 303	9,458	0.22	LOT 343	7259.00	0.
LOT 264	6,703	0.15		LOT 304	10,481	0.24	LOT 344	8133.00	0.
LOT 265	6,565	0.15		LOT 305	11,916	0.27	LOT 345	8990.00	0.
LOT 266	6,465	0.15		LOT 306	13,019	0.30	LOT 346	7355.00	0.
LOT 267	8,915	0.20		LOT 307	13,881	0.32	LOT 347	7819.00	0.
LOT 268	8,307	0.19		LOT 308	9,853	0.23	LOT 348	7119.00	0.
LOT 269	6,278	0.14	- 6	LOT 309	8,026	0.18	LOT 349	7099.00	0.1

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	Lot Area (SQ FT)	Lot Area (Acres)		Lot Area (SQ FT)	Lot Area (Acres)
LOT 321	7422.00	0.17	LOT 361	8,820	0.20
LOT 322	7422.00	0.17	LOT 362	10,357	0.24
LOT 323	7422.00	0.17	LOT 363	13,929	0.32
LOT 324	7422.00	0.17	LOT 364	14,160	0.33
LOT 325	7307.00	0.17	LOT 365	8,210	0.19
LOT 326	6252.00	0.14	LOT 366	7,554	0.17
LOT 327	6252.00	0.14	LOT 367	7,553	0.17
LOT 328	6252.00	0.14	LOT 368	9,669	0.22
LOT 329	6254.00	0.14	LOT 369	10,698	0.25
LOT 330	6500.00	0.15	LOT 370	7,846	0.18
LOT 331	10515.00	0.24	LOT 371	7,887	0.18
LOT 332	10161.00	0.23	LOT 372	7,887	0.18
LOT 333	10668.00	0.24	LOT 373	7,887	0.18
LOT 334	8426.00	0.19	LOT 374	7,887	0.18
LOT 335	7293.00	0.17	LOT 375	7,887	0.18
LOT 336	8412.00	0.19	LOT 376	7,887	0.18
LOT 337	8295.00	0.19	LOT 377	10,386	0.24
LOT 338	7333.00	0.17	LOT 378	11,672	0.27
LOT 339	7362.00	0.17	LOT 379	6,881	0.16
LOT 340	6743.00	0.15	LOT 380	6,881	0.16
LOT 341	8380.00	0.19	LOT 381	6,881	0.16
LOT 342	10909.00	0.25	LOT 382	6,881	0.16
LOT 343	7259.00	0.17	LOT 383	6,881	0.16
LOT 344	8133.00	0.19	LOT 384	6,881	0.16
LOT 345	8990.00	0.21	LOT 385	6,881	0.16
LOT 346	7355.00	0.17	LOT 386	11,974	0.27
LOT 347	7819.00	0.18	LOT 387	9,946	0.23
LOT 348	7119.00	0.16	LOT 388	6,144	0.14
LOT 349	7099.00	0.16	LOT 389	6,131	0.14
LOT 350	7093.00	0.16	LOT 390	6,034	0.14
LOT 351	7365.00	0.17	LOT 391	6,040	0.14
LOT 352	11532.00	0.26	LOT 392	5,949	0.14
LOT 353	8872.00	0.20	LOT 393	5,970	0.14
LOT 354	6161.00	0.14	LOT 394	5,774	0.13
LOT 355	6161.00	0.14	LOT 395	6,033	0.14
LOT 356	6161.00	0.14	LOT 396	6,231	0.14
LOT 357	6161.00	0.14	LOT 397	6,403	0.15
LOT 358	6205.00	0.14	LOT 398	6,548	0.15
LOT 359	6416.00	0.15	LOT 399	6,644	0.15
LOT 360	6697.00	0.15	LOT 400	6,703	0.15

	Lot Area (SQ FT)	. ,		Lot Area (SQ FT)	· · · ·
LOT 401	6,728	0.15	LOT 441	8,306	0.19
LOT 402	6,708	0.15	LOT 442	8,238	0.19
LOT 403	6,662	0.15	LOT 443	8,132	0.19
LOT 404	6,555	0.15	LOT 444	9,428	0.22
LOT 405	6,440	0.15	LOT 445	13,351	0.31
LOT 406	6,286	0.14	LOT 446	12,343	0.28
LOT 407	6,103	0.14	LOT 447	19,986	0.46
LOT 408	5,883	0.14	LOT 448	19,709	0.45
LOT 409	6,302	0.14	LOT 449	13,368	0.31
LOT 410	8,197	0.19	LOT 450	12,194	0.28
LOT 411	9,810	0.23	LOT 451	10,107	0.23
LOT 412	15,154	0.35	LOT 452	12,068	0.28
LOT 413	8,400	0.19	LOT 453	12,244	0.28
LOT 414	7,207	0.17	LOT 454	8,811	0.20
LOT 415	5,192	0.12	LOT 455	8,392	0.19
LOT 416	5,076	0.12	LOT 456	8,458	0.19
LOT 417	5,044	0.12	LOT 457	8,483	0.19
LOT 418	5,074	0.12	LOT 458	8,705	0.20
LOT 419	5,064	0.12	LOT 459	8,669	0.20
LOT 420	5,040	0.12	LOT 460	8,632	0.20
LOT 421	5,050	0.12	LOT 461	9,646	0.22
LOT 422	6,466	0.15	LOT 462	11,260	0.26
LOT 423	6,511	0.15	LOT 463	14,288	0.33
LOT 424	5,059	0.12	LOT 464	6,684	0.15
LOT 425	5,048	0.12	LOT 465	6,420	0.15
LOT 426	5,068	0.12	LOT 466	8,824	0.20
LOT 427	5,096	0.12	LOT 467	7,875	0.18
LOT 428	5,019	0.12	LOT 468	5,262	0.12
LOT 429	5,078	0.12	LOT 469	9,530	0.22
LOT 430	5,021	0.12	LOT 470	7,755	0.18
LOT 431	5,730	0.13	LOT 471	7,723	0.18
LOT 432	9,098	0.21	LOT 472	7,324	0.17
LOT 433	8,938	0.21	LOT 473	8,368	0.19
LOT 434	9,603	0.22	LOT 474	8,440	0.19
LOT 435	16,193	0.37	LOT 475	7,003	0.16
LOT 436	10,975	0.25	LOT 476	6,805	0.16
LOT 437	8,115	0.19	LOT 477	6,784	0.16
LOT 438	8,189	0.19	LOT 478	6,827	0.16
LOT 439	8,281	0.19	LOT 479	11,359	0.26
LOT 440	8,313	0.19	LOT 480	8,146	0.19

GENER,	AL NOTE.	S
OVERALL	PROJECT	

EXISTING ROADS FRONTAGE OF THE PROJECT LATS HING KUADS FRONTAGE OF DERDORFF ROAD WATERFORD MILLS PARKWAY <u>REGENT STREET</u> TOTAL

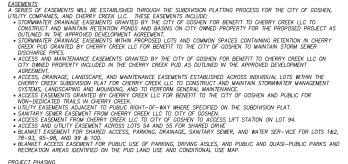
DEVELOPMENT PROJECT OVERVIEW CHERRY CREEK WILL BE A MIXED-USE NEIGHBORHOOD THAT IS DESIGNED FOR AN ACTIVE LIFESTYLE WHERE LIVING, WORKING, AND PLAYING ARE ALL AVALLABLE WITHIN WALKING AND BIKING DISTANCE IN THE COMMUNITY.

CHERRY CREEK WILL BE ABUNDANT WITH AMENITIES AND WILL BE COMPLETELY MAINTEMANCE-FREE LIVING. HOMEOWNERS WILL HAVE A WIDE VARIETY OF ACTIVITIES AND AMENITIES THAT ARE INCLUDED IN A HOMEOWNER'S SASCOLATION FEE THAT WILL LASS OCUPE OUTDOOR MAINTEMANCE AND SNOW REMOVAL AMENITIES PLANMED AT THIS TIME INCLUDE A DOC PARK, PARK AND RECREATION SPACES, A PAVILION AND LARGE OPEN SPACE, WIDE WALKING AND BIKING PATH CONNECTED TO THE CITY TRAIL TO GET DOWNTOWN, NUMEROUS PONDS WITH FOUNTAINS, FITNESS CENTER, CHILDCARE, RETAIL, BANK, AND 2-3 RESTAURANTS.

LAND USE SUMMARY SINGLE-FAMILY RESIDENTIAL L MULTI-FAMILY MIXED USE LOT COMMERCIAL (SHOWROOM AND UTILITY / LIFT STATION COMMON SPACES (CHERRY CRI OWNED BY CITY OF GOSHEN RIGHT OF WAY

SINGLE-FAMILY (487 UNITS) SINGLE-FAMILY DETACHED SINGLE-FAMILY ATTACHED

MULTI-FAMILY (731 UNITS) TOWNHOME STYLE TOWNHOME STILE 96 UNITS TOWNHOME STYLE / MIXED USE 184 UNITS CONDOMINIUM STYLE / MIXED USE 451 UNITS



SINGLE-FAMILY ATTACHED HOMES WILL BE A MIX OF 2- AND 3-BEDROOM UNITS. MULTI-FAMILY UNITS WILL BE A MIX OF ALLOWABLE USES ON COMMON SPACES AND MIXED USE LOTS AMENITES FLANNED AT THIS TIME INCLUDE PICKLEBALL COURTS, DOG PARK, NEIGHBORHOOD SWIMMING POOL, COMMUNITY CONTERF PARK AND RECREATIONS SPACES, A PAVLION AND LARGE OPEN SPACE, WIDE WALKING AND BINING PATH CONNECTED TO THE CITY TRALL TO GET DOWNTOWN, NUMEROUS PONDS WITH FOUNTAINS, FITNESS CENTER, CHILDCARE, RETAIL, BANK, AND RESTAURANTIS.

<u>PARKING SUMMARY</u> PROPOSCD NUMBER OF PARKING SPACES 2,700 SPACES. PARKING REQUIRED BASED ON CHERRY CREEK STANDARDS IS 2,634 SPACES. PARKING DETAILS PROVIDED IN THE PUD NARRATIVE AND DEVELOPMENT STANDARDS.

LIGHTING DETAILS PROVIDED IN THE PUD NARRATIVE AND DEVELOPMENT STANDARDS.

<u>PROPOSED SIGNAGE</u> SIGN DETAILS PROVIDED IN THE PUD NARRATIVE AND DEVELOPMENT STANDARDS.

FLOODPLAIN THE PROJECT IS NOT LOCATED IN A DELINEATED FLOOD HAZARD ZONE.

TRANSPORTATION REPORT

SITE ACCESS THERE WILL BE THREE POINTS OF ACCESS TO THE MAIN PROPERTY AND TWO POINTS OF ACCESS TO THE LOT AT THE SOUTHWEST CORNER OF WATERFORD MILLS PARKWAY AND RECENT STREET.

NO. REVISION DESCRIPTION

OVERALL PROJECT AREA THE PROJECT IS LOCATED ON ROUGHLY 204 ACRES IN SOUTHEAST GOSHEN. THE MAIN PROPERTY IS BOUNDED BY RECENT STREET ON THE WEST, DIERDORFF ROAD ON THE EAST, AND WATERFORD MILLS PARKWAY ON THE SOUTH A LARGE RETENTION AREA AND ANOTHER DEVELOPMENT IOT ARE LOCATED SOUTH OF WATERFORD MULLS PARKWAY.

THE PROPERTY IS CURRENTLY ZONED PUD

2,674	+/-	FEET
6,149	+/-	FEE1
2,367	+/-	FEE1
11.190	+/-	FEE

UP TO 120,000 SQUARE FEET OF COMMERCIAL SPACE WILL BE PROVIDED IN PHASE 1. AN ADDITIONAL 50,000 WILL BE PROVIDED IN PHASE 2.

88 ACRES +/- (43%)
38 ACRES +/- (18%)
0.8 ACRE +/- (0.4%)
0.3 ACRE +/- (0.2%)
21 ACRES +/- (10%)
24 ACRES +/- (12%)
33 ACRES +/- (16%)
204 ACRES +/- (100%)

THE FOLLOWING NUMBER OF RESIDENTIAL UNITS IS CURRENTLY PROPOSED:

255 UNITS 232 UNITS

96 UNITS

THE DENSITY OF DWELLING UNITS PER ACRE ACROSS THE FULL CHERRY CREEK DEVELOPMENT, INCLUDING COMMON SPACES, BUT EXCLUDING PUBLIC RIGHT-OF-WAY WILL BE APPROXIMATELY 8 UNITS PER ACRE.

WATER AND WASTEWATER THE CHERRY CREEK PUD WILL BE SERVICED BY THE CITY OF GOSHEN MUNICIPAL WATER AND SANITARY SEWER.

EASEMENTS A SERIES OF EASEMENTS WILL BE ESTABLISHED THROUGH THE SUBDIVISION PLATTING PROCESS FOR THE CITY OF GOSHEN.

PROJECT PHASING THE PROJECT IS DESIGNED TO BE CONSTRUCTED IN TWO MAJOR PHASES. DETAILS PROVIDED IN THE PUD NARRATIVE AND DEVELOPMENT STANDARDS DOCUMENT.

SINGLE-FAMILY DETACHED HOMES WILL BE A MIX OF 2- AND 3-BEDROOM UNITS WITH THE POTENTIAL FOR AN EGRESS WINDOW TO ALLOW FOR ADDITIONAL BEDROOMS IN THE BASEMENT.

LANDSCAPE LANDSCAPE DETAIL IS PROVIDED IN THE PUD NARRATIVE AND DEVELOPMENT STANDARDS.

AT THE TIME OF RECORDING OF THIS PUD, THE CITY OF GOSHEN ZONING ORDINANCE GENERALLY REGULATES LANDSCAPING AREAS OF FOUR SITE AREAS:

FOUNDATION (OPTIONAL AND NOT INCLUDED IN THIS SUBMISSION) OFF-STREET PARKING AREAS

<u>POSSIBLE WETLANDS</u> DETAILS PROVIDED IN THE PUD NARRATIVE AND DEVELOPMENT STANDARDS DOCUMENT.

<u>SOILS REPORT</u> DETAILS PROVIDED IN THE PUD NARRATIVE AND DEVELOPMENT STANDARDS DOCUMENT.

ROADWAYS THERE WILL BE A SERIES OF NEW STREETS FOR THIS PROJECT. ALL STREETS WITHIN THE DEVELOPMENT WILL BE DEDICATED TO THE CITY OF GOSHEN

OVERVIEW OF STORWWATER PLAN STORWWATER RUNOF GENERATED BY THE CHERRY CREEK PUD SHALL BE RETAINED ONSITE IN A SERIES OF DRY BASINS AND WEF PONDS WITH CONVEYANCE BY SURFACE SWALES AND UNDERGROUND STORM SEWER PIPES AND STRUCTURES. PROPOSED RETENTION AREAS ARE STUATED ON LAND OWNED BY BOTH CHERRY CREEK LLC AND THE CITY OF GOSHEN.



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